

Academy Veterinary Hospital
3470 S. Knox Ct.
Englewood, CO 80110
303-789-1858
academyvethospital@gmail.com



March 23, 2026

To Whom It May Concern,

My name is Dr. Anne Pasek, owner of Academy Veterinary Hospital, LLC, located at 3470 S. Knox Court, Englewood, CO 80110. I am submitting this letter in support of a variance request to Arapahoe County for a modest expansion to my building.

Academy Veterinary Hospital is celebrating 50 years of service this year. Since COVID-19, we have experienced steady growth and must thoughtfully and efficiently utilize our existing property to meet increasing demand for patient services.

Our initial plan focused on an interior remodel only with expanded parking while preserving the existing green space; however, this approach did not provide sufficient storage and hospital needs. We subsequently developed a plan for a 1,300-square-foot expansion to the east of the existing building. This addition would allow safe after-hours access (for both security and weather), accommodate deliveries and storage of medical and surgical supplies, provide kennel space for up to four large dogs, and provide an enclosure for our trash and recycling dumpster containers. The proposed 10-foot setback design maintains existing traffic flow for the adjacent car wash alley exit, provides optimal required open space, retains the existing north setback distance, and still supports the objectives of the Arapahoe County Comprehensive Plan.

The proposed 25-foot setback would impose a substantial hardship in the functionality of this hospital expansion. The southern yard green space area is essential for daily operations. The triangular space shown on Sheet A2 (35 feet x 35 feet x 46 feet) provides the space required for movement analysis of large dogs. I need to be able to stand at least 25 feet away from the lineal movement at the nearest point while the 46-foot length enables the animal to have multiple levels of speed with the handler. A lesser distance inhibits the transition of speed and movement. Not being able to provide a comprehensive analysis can result in an erroneous diagnosis.

In summary, the requested variance is necessary to ensure the expansion is both functional and compatible with the existing limitation of site conditions. Granting this approval will not create special privileges inconsistent with the limitations upon other properties in the vicinity. Adhering to the 25-foot setback would severely compromise the medical assessment and thus reduce quality of services for our clients. Thus, the request for approval is not of a general nature, but rather a highly specific and necessary medical analysis. The proposed plan will not negatively impact current traffic patterns, it will improve property value for the surrounding businesses, will not be detrimental to the public good in any way, nor impair the intent and purpose of the county regulations. Granting this variance will serve our patients and community in the best manner possible.

Thank you for your time and consideration.

Please contact me if you have any further questions.

Sincerely,


Anne Pasek, D.V.M, CVA, CVFT
Owner, Academy Veterinary Hospital, LLC
dr.apasek@gmail.com
303-905-6195

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Project Description of Work

This project includes several key site improvements, a renovation to the existing facility, and a building addition on the eastern (back) side of the site.

Parking Adjustments:

The site parking plan involves retaining eight of the existing ten parking stalls located on the west (front) side of the lot for dedicated client use. The two southernmost existing parking stalls will be used as a means of accessing a new five-stall employee parking lot located on the south side of the lot. The existing parking apron on the eastern (back) side of the lot will be removed for the proposed building addition. This addition will incorporate a two-car garage as discussed below. A loading zone will be provided for both trash pick-up and hospital delivery drop off, keeping the existing drive aisle clear for carwash vehicle exit.

Building and Site Retention:

- All existing building perimeter walls and the entrance vestibule will be retained.
- The existing hospital sign will remain, with the backlit branding graphics updated.
- The current roofing structure and roof material will be kept, except for the mansard roof condition on the east side of the building which will be removed. The proposed addition will engage with the existing eastern façade.
- The existing south side-yard will be retained for required medical analysis space. Please see the "AVH Letter Regarding the Importance of a Proper Gait Examination" for more information.
- The south side-yard will also incorporate an outdoor euthanasia space taking advantage of the southern sun exposure and creating a calm natural enclosure for the end-of-life procedure.

Mechanical Upgrades:

The two existing rooftop units (RTUs) will be retained and kept in place. A new RTU will be added to the proposed building addition and be used to improve existing building heating and cooling needs.

Security Enhancements:

- The existing 6-foot wood fence will be removed and replaced with a new 8-foot-high security fence.
- A new 8-foot-high security fence will also be installed to enclose the north side yard area to deter homeless encampments.
- The proposed fence design is in conformance with animal protective measures. Please see “AVH Letter Regarding Chain Link Fence Hazards” for more information.

Building Addition:

A new building addition is proposed for the east side (back) of the building. This addition should be aligned with the existing building’s north and south. The proposed addition will include:

- A two-car garage for parking, supply delivery, storage, and security/weather protection.
- An enclosure for recycling and trash dumpsters.
- An enclosure for yard maintenance tools.
- Four kennels designed for large dogs.
- The placement of the addition allows for a minimum open south yard enclosure, enabling medical staff to evaluate dog gait movement and conduct medical assessments.

Hospital Renovation:

The project will renovate the existing hospital layout to improve functionality, accessibility, usable space, and enhance patient care. This project exceeds setback requirements for the West, South, and East façades. The building will also be substantially beneath the zoning maximum height limit.

We appreciate your time and consideration in the review of this project.

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The Critical Importance of Gait Examination in Assessing Canine Lameness

I wanted to take a moment to highlight the medical importance of a gait exam for assessing lameness in dogs. A thorough gait examination allows us to observe a dog's movement patterns, helping us identify any irregularities that might indicate an underlying issue. This exam is crucial for diagnosing the cause of lameness, whether it be due to joint, muscle, or neurological conditions. Early detection through a gait exam can lead to more effective treatment and improved comfort for your pet. Without proper space for this movement, this exam is compromised.

Lameness in dogs is a common yet often complex clinical presentation that can arise from orthopedic, neurologic, or soft tissue conditions. Accurate diagnosis is essential for effective treatment and long-term management. Among all diagnostic tools available, gait examination (often referred to as gait analysis) is one of the most fundamental and indispensable components of a thorough lameness evaluation.

A proper gait assessment provides real-time, functional insight into how a dog moves—information that cannot be fully captured through static imaging or physical examination alone. Proper space allocation is mandatory in order to ensure both evaluation and treatment, as well as follow-up assessment and verification.

What Is Gait Analysis?

Gait analysis is the systematic observation and evaluation of a dog's movement, typically performed as the dog walks and trots in a controlled environment. It assesses the coordination, symmetry, and mechanics of limb movement.

A comprehensive gait examination involves:

- Observation at Different Speeds
 - Walking: highlights subtle abnormalities
 - Trotting: accentuates asymmetrical and weight-bearing issues

- Evaluation from Multiple Angles
 - Front view: identifies limb deviation and head movement
 - Side view: assesses stride length, joint motion, and posture
 - Rear view: evaluates hip movement and pelvic symmetry
- Weight-Bearing Assessment
 - Identifies which limb is affected
 - Detects compensatory weight shifting
- Stride Analysis
 - Length and consistency of steps
 - Timing and rhythm between limbs
- Postural Changes
 - Head bobbing (commonly associated with front limb lameness)
 - Hip hiking or pelvic tilt (often seen in hind limb lameness)
- Surface and Condition Variation
 - Hard vs. soft surfaces
 - Straight lines vs. turning movements

Why Gait Examination Is Essential

1. Identifies the Affected Limb

Owners often misidentify which limb is lame. Gait analysis allows the clinician to objectively determine the exact limb involved, which is the first and most critical step in diagnosis.

2. Differentiates Types of Lameness

- Orthopedic vs. neurologic causes
- Pain-related vs. mechanical restriction
- Acute vs. chronic compensatory patterns

3. Reveals Subtle or Early Changes

Some conditions (e.g., early arthritis, ligament strain) may not produce obvious pain on palpation but will manifest as subtle gait abnormalities.

4. Guides Further Diagnostics

Findings from gait evaluation help determine:

- Whether imaging (X-rays, MRI, CT) is needed
- Which limb or joint to focus on
- Whether referral to a specialist is warranted

5. Monitors Progress Over Time

Repeated gait assessments allow clinicians to:

- Track improvement or deterioration
- Evaluate treatment effectiveness
- Adjust rehabilitation or medication plans

Clinical Benefits of Gait Analysis

- Non-invasive and cost-effective
- Immediate functional insight
- Improves diagnostic accuracy
- Reduces unnecessary testing
- Enhances treatment planning
- Supports objective communication with pet owners

Consequences of Skipping Gait Evaluation

Failure to perform a proper gait examination can lead to:

- Misdiagnosis or delayed diagnosis
- Treatment of the wrong limb
- Over-reliance on imaging without clinical correlation
- Progression of untreated conditions
- Increased cost and frustration for owners

Conclusion

Gait examination is not optional—it is a cornerstone of veterinary orthopedic and neurologic assessment. It bridges the gap between clinical suspicion and definitive diagnosis by providing dynamic, functional evidence of lameness.

For anyone involved in evaluating or treating canine patients, understanding, and utilizing gait analysis is essential. Without it, even advanced diagnostic tools may fall short of delivering accurate and effective care.

March 22, 2026

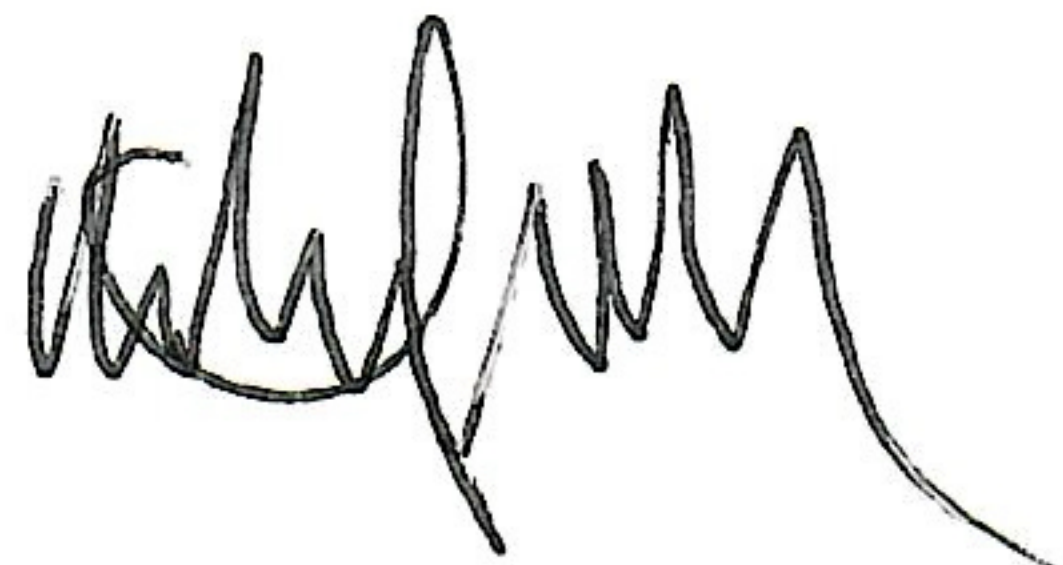
To whom it may concern,

Dr. Anne Pasek, owner of Academy Veterinary Hospital, LLC., and southern neighboring property to my business, Harvey Park Carwash LLC located at 3462 S. Knox Ct Englewood, CO 80110, has provided me with the proposed site plan and rendered overlay images showing both existing and proposed conditions post construction. She is proposing adding a new addition on the eastern side of her existing hospital, continuing the 10-foot side yard setback, and keeping the new addition in alignment with the existing building.

I have no objections to the proposed design and endorse her design proposal, seeing that it will also result in a betterment of our business neighborhood. I will support the design as shown and support her desire to maintain the existing northern setback condition.

If you have any questions or concerns, please feel free to contact me.

Sincerely,

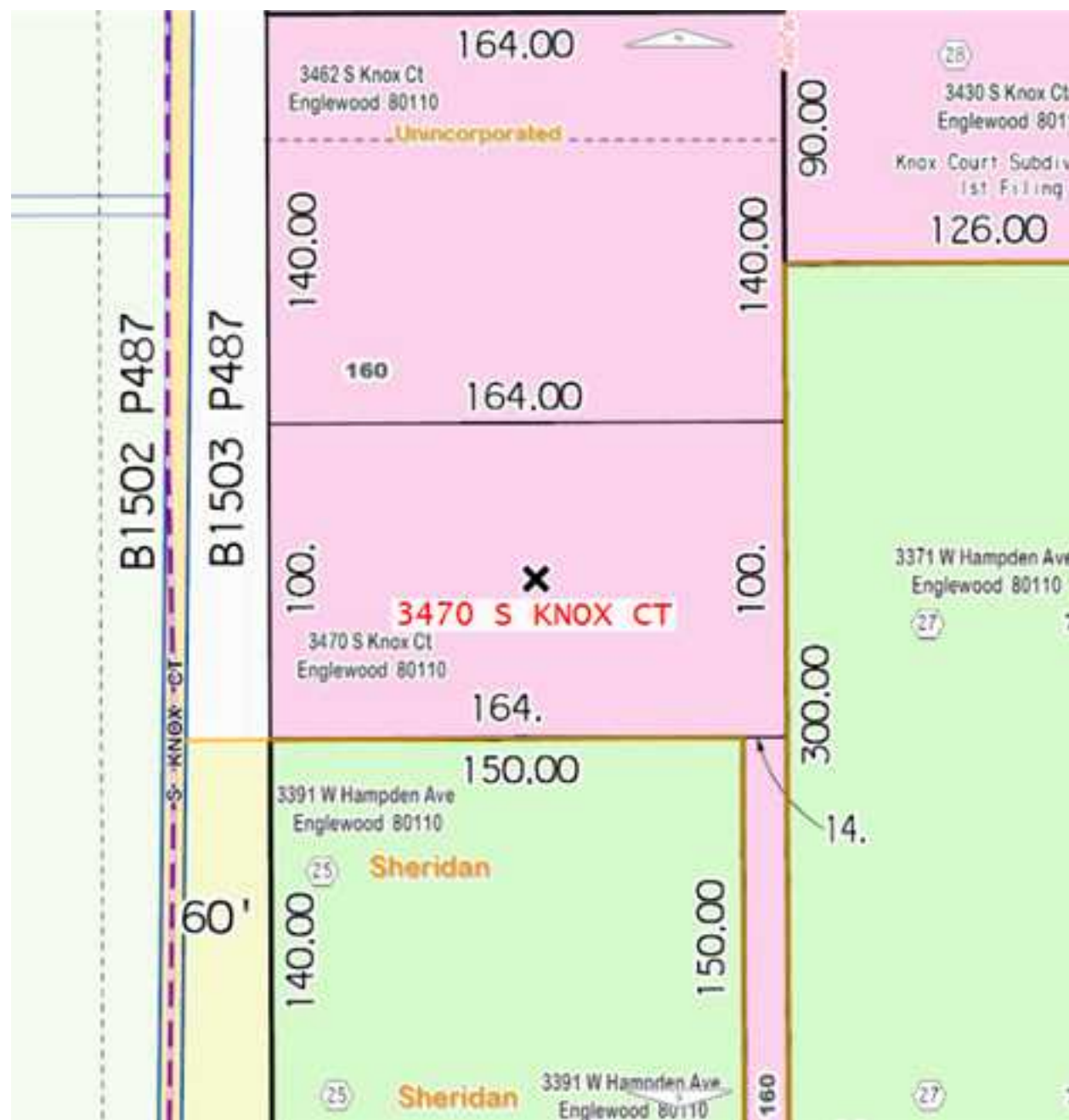
A handwritten signature in black ink, appearing to read 'Katy Call', with a long, sweeping underline.

Katy Call

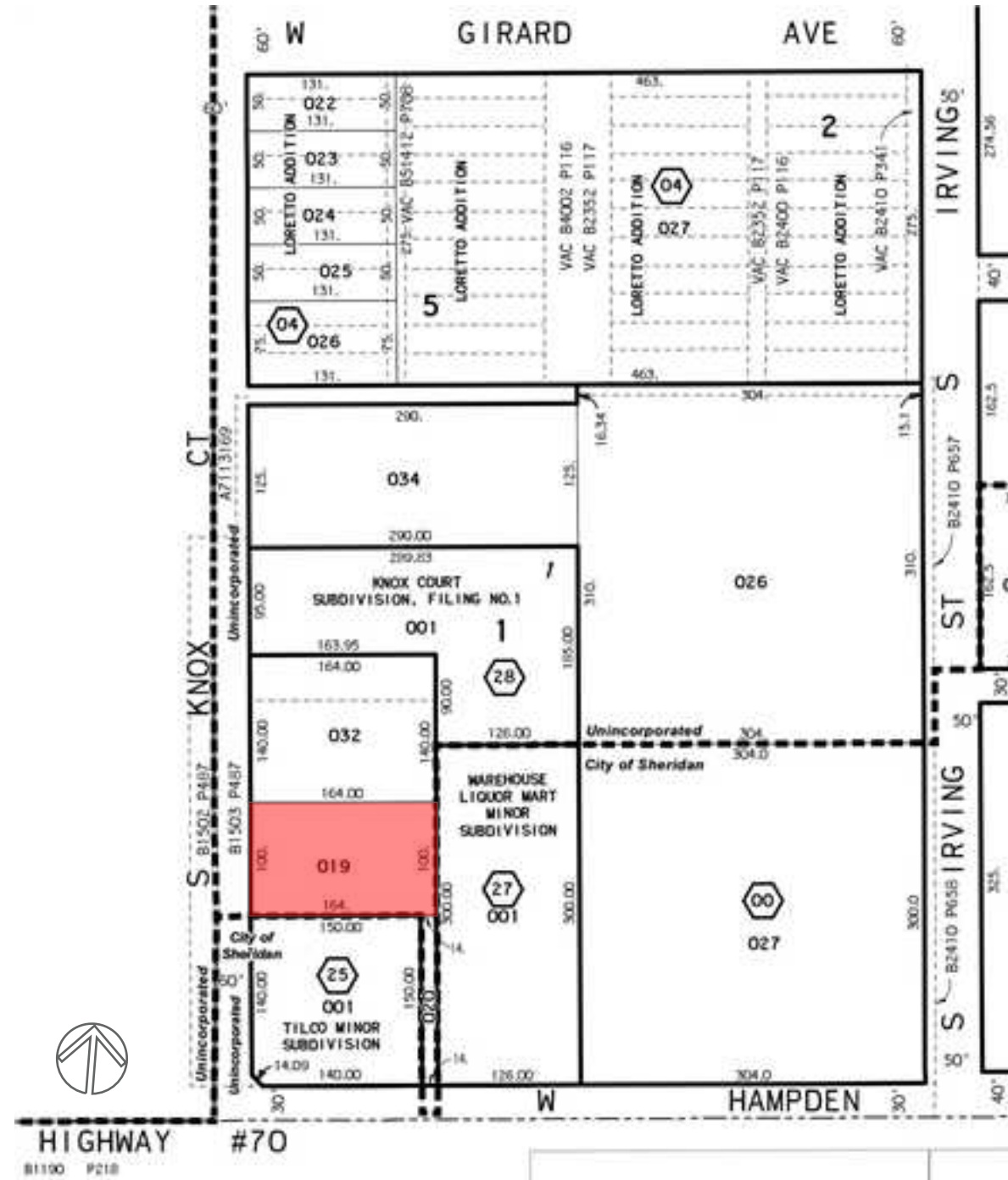
kycall@gmail.com

303-809-0702

GIS MAP



ASSESSOR'S PARCEL MAP



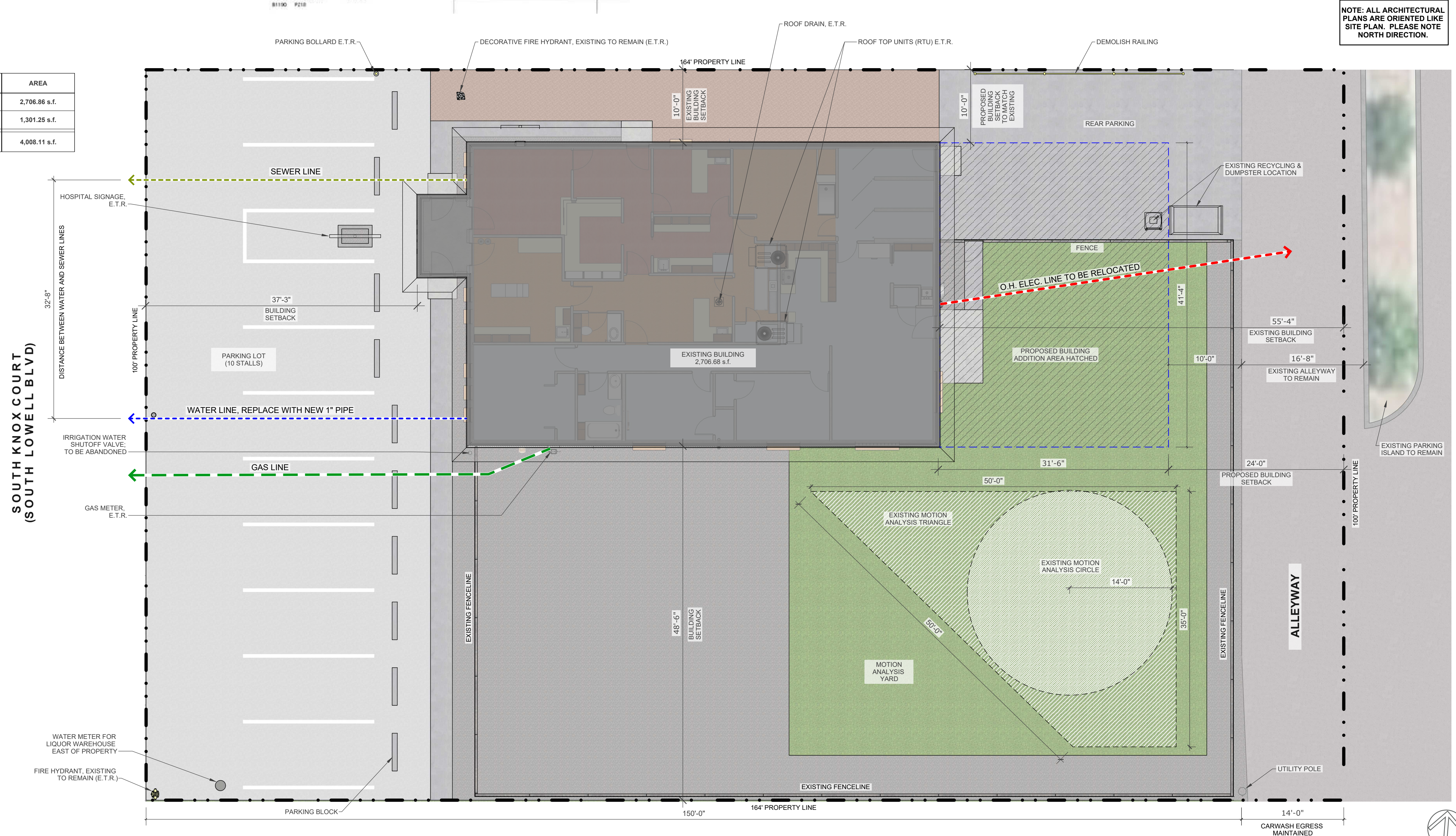
SITE PLAN GENERAL NOTES

1. ALL EXISTING UTILITIES SHALL REMAIN AS LOCATED WITH MODIFICATIONS APPLIED WHERE REQUIRED BY CODE AND PROPOSED WORK. ELECTRICAL METER SHALL BE RELOCATED DUE TO PROPOSED ADDITION. CONTRACTOR SHALL REVIEW AND VERIFY UTILITY LOCATION AND PATHWAYS WITH UTILITY SUPPLIER AND OWNER PRIOR TO ANY CONSTRUCTION. UTILITY LINES SHOWN ON DRAWING ARE REPRESENTATIONAL ONLY.
2. SMALL CALIPER TREE AND SHRUB REMOVAL FOR NEW ADDITION AREA SHALL BE REVIEWED AND APPROVED BY OWNER. NO TREES SHALL BE REMOVED DUE TO THIS PROJECT.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MANAGEMENT OF EROSION CONTROL MEASURES INCLUDING FIBER ROLLS AND ANY OTHER MEASURES DEEMED NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE. CONTRACTOR IS ADVISED TO REFERENCE STORMWATER QUALITY HANDBOOKS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP'S) MANUAL, STATE OF COLORADO. STORM WATER DRAINAGE MANAGEMENT SHALL BE IMPLEMENTED PRIOR, DURING AND AFTER THE START OF CONSTRUCTION.
4. CONTRACTOR TO MINIMIZE EXPOSURE TIME OF DISTURBED SOIL AREAS BY PHASED CONSTRUCTION ACTIVITIES AND STABILIZING THE SOILS PROMPTLY.
5. CONTRACTOR TO DILIGENTLY MAINTAIN THE TEMPORARY CONSTRUCTION ACCESS TO PREVENT SOIL TRACKING INTO THE ROADWAY. ANY DUST/SOIL TRACKED INTO THE ROADWAY AND EXISTING DRIVEWAY SHOULD BE SWEEPED AND REMOVED IMMEDIATELY.
6. CONTRACTOR SHALL PROVIDE SITE SECURITY ENCLOSURES, TEMPORARY FENCING, AND OTHER RESTRICTIVE MEASURES TO DETER PUBLIC ACCESS TO ALL AREAS OF CONSTRUCTION. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE SECURITY AND PREVENTION OF THEFT FOR ALL FINISHES, FIXTURES, AND EQUIPMENT LOCATED ON OR OFF SITE IN THEIR CONTROL DURING CONSTRUCTION.
7. ALL SEWER FACILITIES SHALL MEET LOCAL SANITARY DISTRICT CODE REQUIREMENTS.
8. ALL TREES IN THE CONSTRUCTION ZONE SHALL BE PROTECTED WITH PLASTIC MESH FENCING 4'-0" TALL AT THEIR DRIPLINES. TREES IN CLOSE PROXIMITY OF EACH OTHER MAY BE PROTECTED AS GROUPS. ALL EXCAVATION INSIDE THE DRIPLINE OF TREES SHALL BE DONE BY HAND WITH NO HEAVY EQUIPMENT IF TREES ARE TO BE RETAINED.
9. ANY EXCAVATED BOULDERS SHALL BE RETAINED ON SITE AND LOCATED PER OWNER DIRECTION.
10. ALL AREAS OF EXPOSED SOIL WILL BE STABILIZED WITH PINE STRAW OR MULCH PRIOR TO SUBMITTING FOR FINAL RELEASE. DISTURBED AREAS WILL BE REVEGETATED PER OWNER/LANDSCAPE DESIGNER DIRECTION POST-CONSTRUCTION.
11. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL REQUIRE AN ENCROACHMENT PERMIT FROM ARAPAHOE COUNTY.
12. NEW DRIVEWAY PAVEMENT AND SIDEWALK SHALL BE CONSTRUCTED TO COUNTY STANDARDS. REFER TO CIVIL DRAWINGS FOR MINIMUM BASE ROCK REQUIREMENTS BENEATH DRIVEWAY/WALKWAY CONCRETE. THE DRIVEWAY/SIDEWALK MUST MEET CURRENT ADA REQUIREMENTS.
13. ALLEYWAY VEHICULAR ACCESS MUST REMAIN UNOBSTRUCTED FOR ADJACENT BUSINESS' USE.

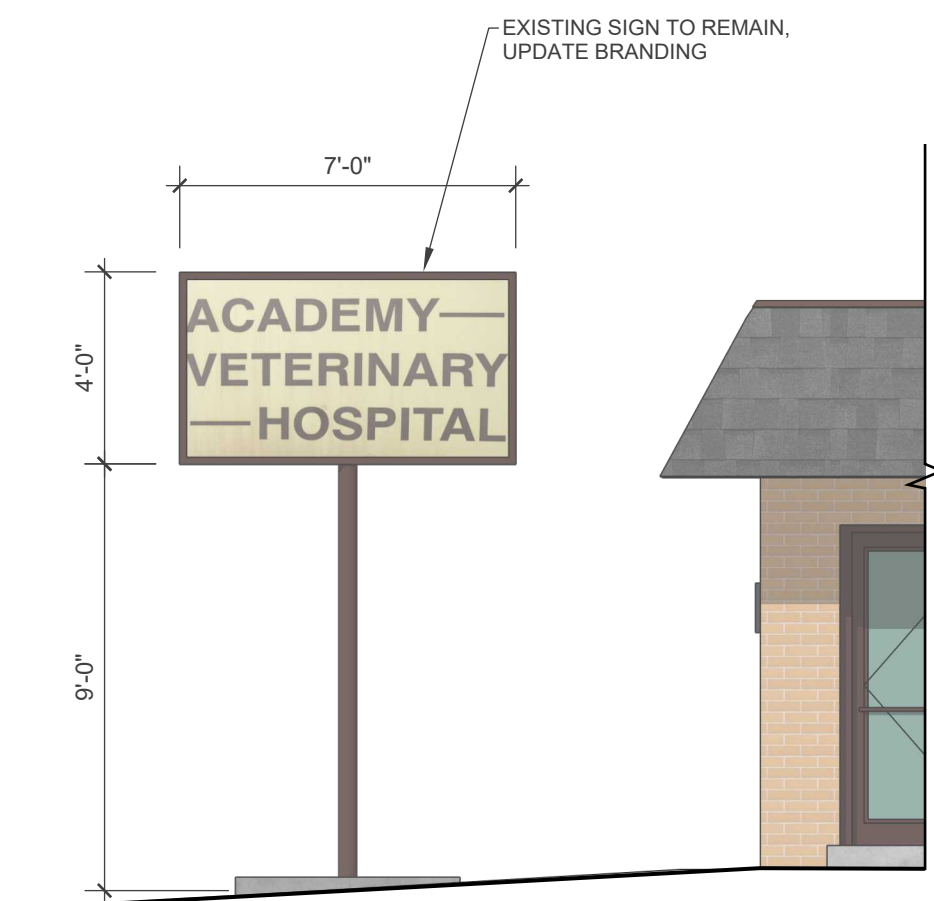


Academy Veterinary Hospital
3470 S. Knox Ct.
Englewood, CO 80110
303-905-6195
AIN: 1971-32-3-00-019

	AREA
EXISTING BUILDING	2,706.86 s.f.
PROPOSED BUILDING ADDITION	1,301.25 s.f.
PROPOSED TOTAL AREA	4,008.11 s.f.

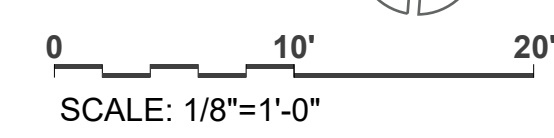


NOTE: ALL ARCHITECTURAL PLANS ARE ORIENTED LIKE SITE PLAN. PLEASE NOTE NORTH DIRECTION.



2 SITE SIGNAGE ELEVATION
A1 SCALE: 1/4" = 1'-0"

1 EXISTING SITE PLAN WITH PROPOSED BUILDING ADDITION LOCATION
A1 SCALE: 1/8" = 1'-0"



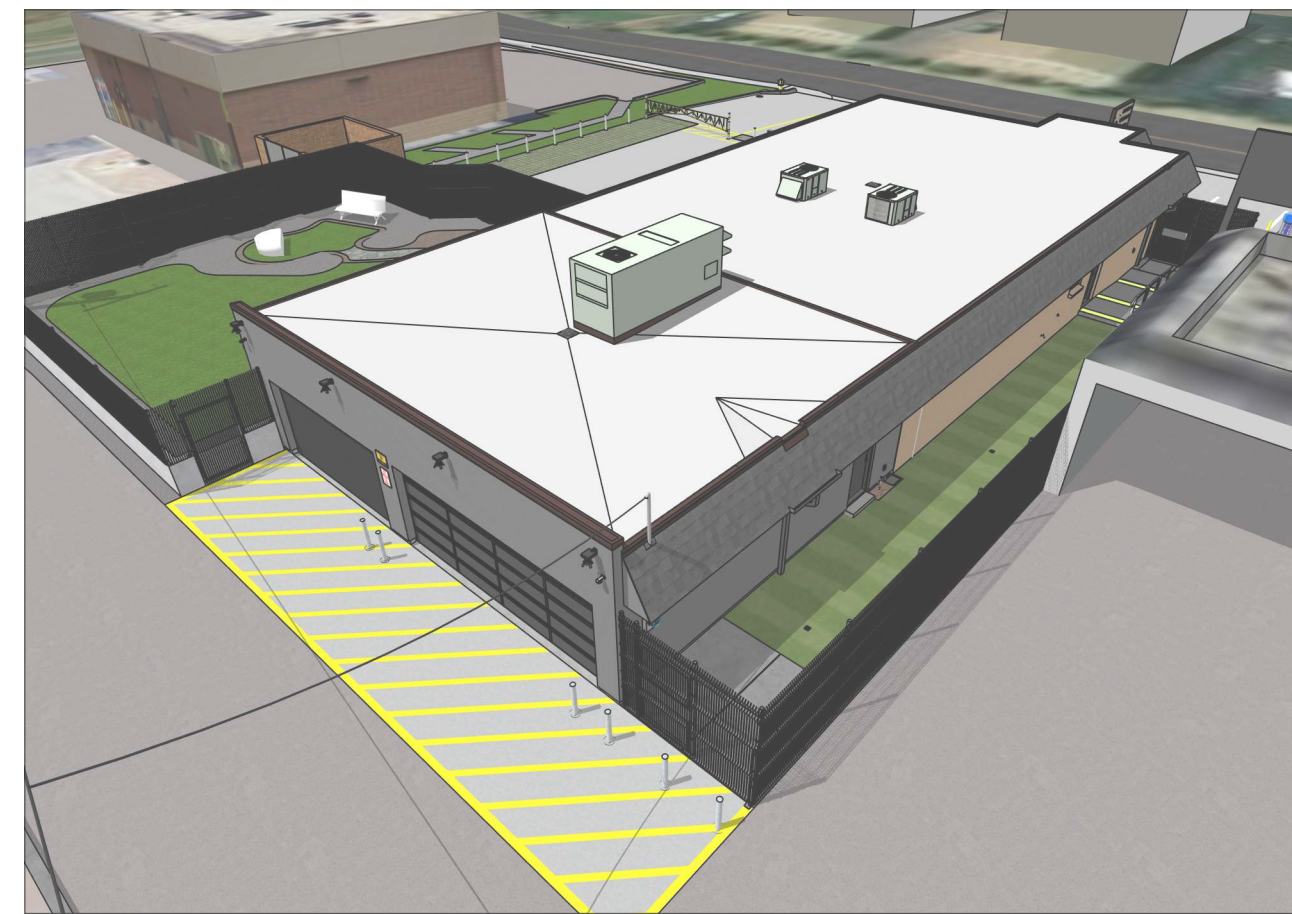
Academy Veterinary Hospital:
Addition & Interior Renovation

Document Date:
April 8, 2026
Document Phase:
DRAFT SET
rev. date remark

Existing Site Plan with
Proposed Addition, Site
Plan General Notes, GIS
& Assessor's Map



SOUTHEAST AERIAL VIEW



NORTHEAST AERIAL VIEW

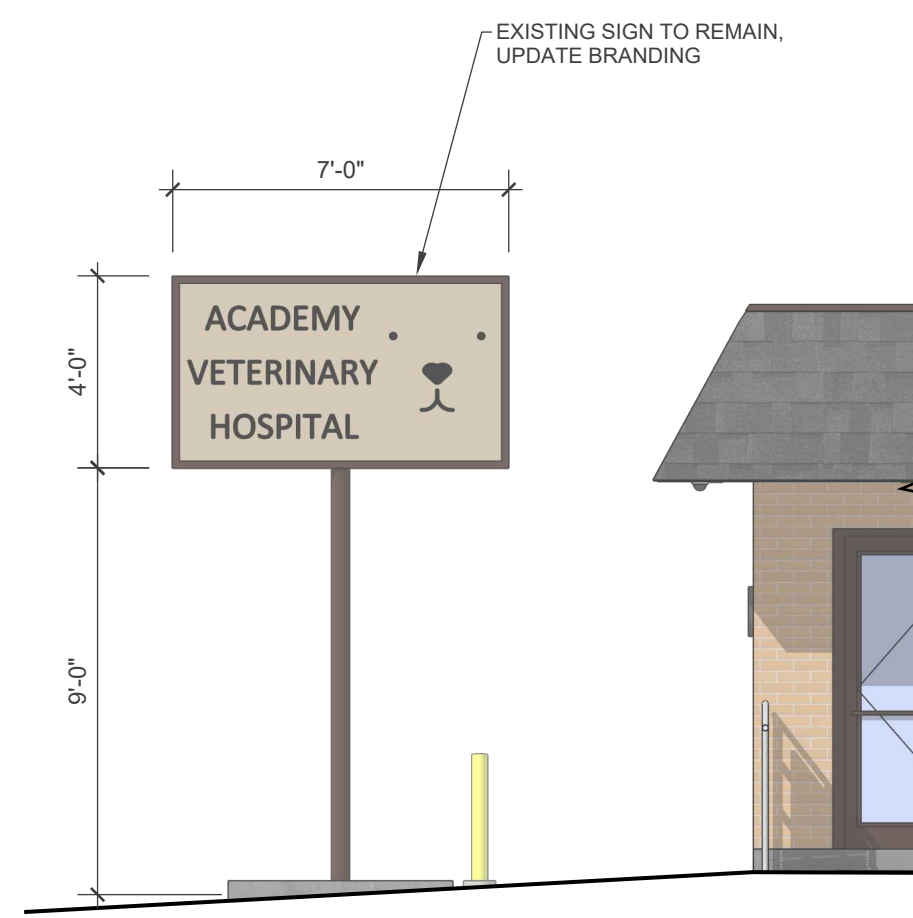
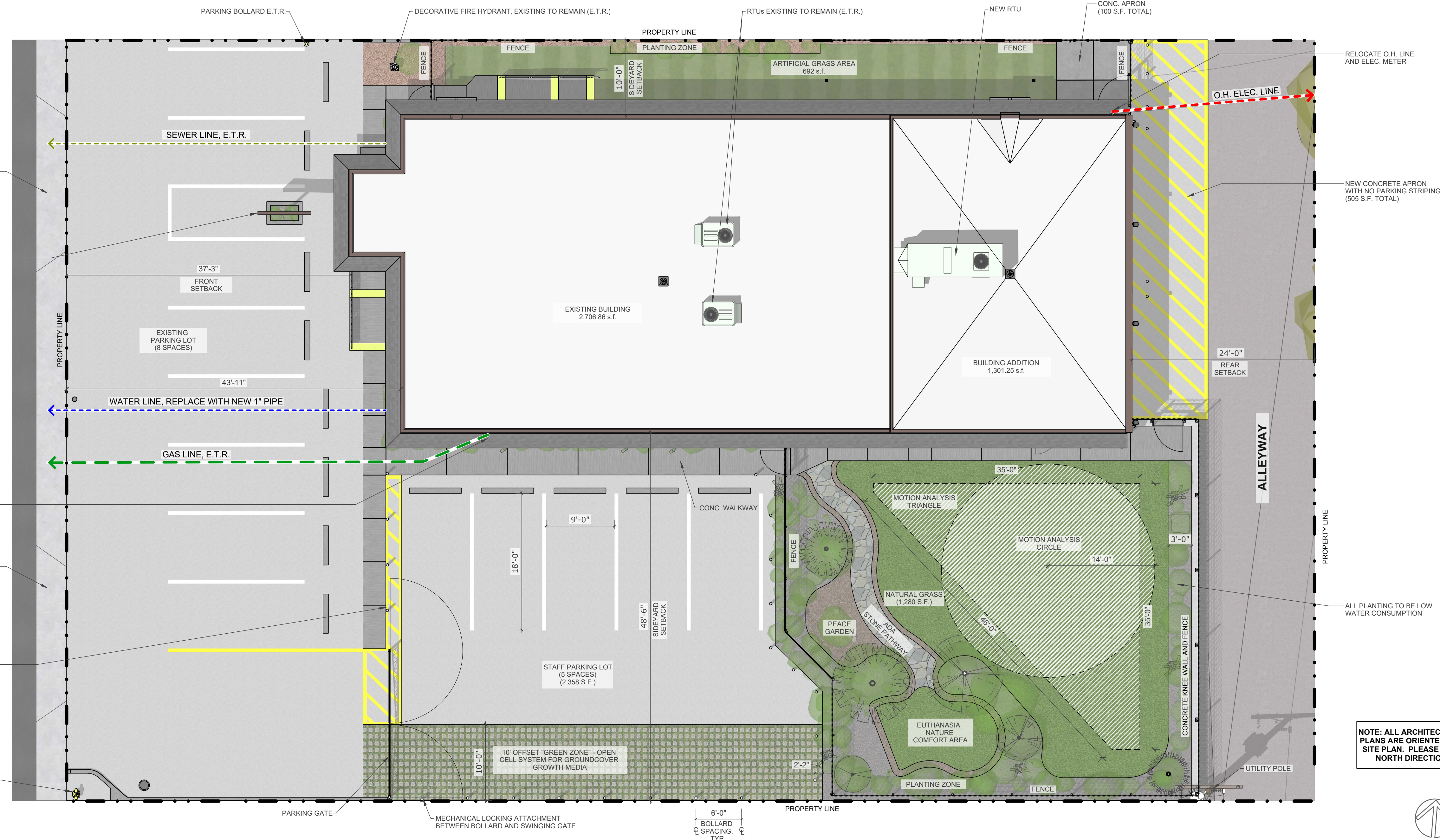


NORTHWEST AERIAL VIEW



SOUTHWEST AERIAL VIEW

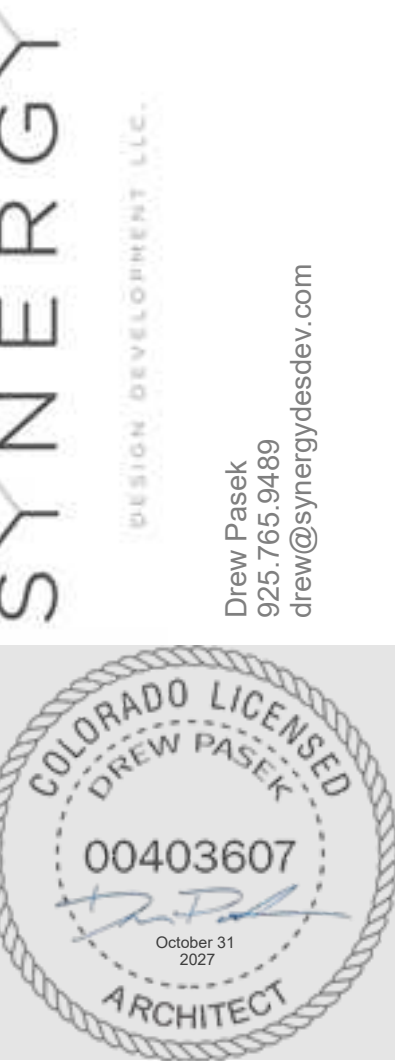
	AREA
EXISTING BUILDING	2,706.86 s.f.
PROPOSED BUILDING ADDITION	1,301.25 s.f.
PROPOSED TOTAL AREA	4,008.11 s.f.



2 SITE SIGNAGE ELEVATION
A2 SCALE: 1/4" = 1'-0"

1 PROPOSED SITE PLAN
A2 SCALE: 1/8" = 1'-0"

0 10' 20'
SCALE: 1/8" = 1'-0"



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Academy Veterinary Hospital:
Addition & Interior Renovation

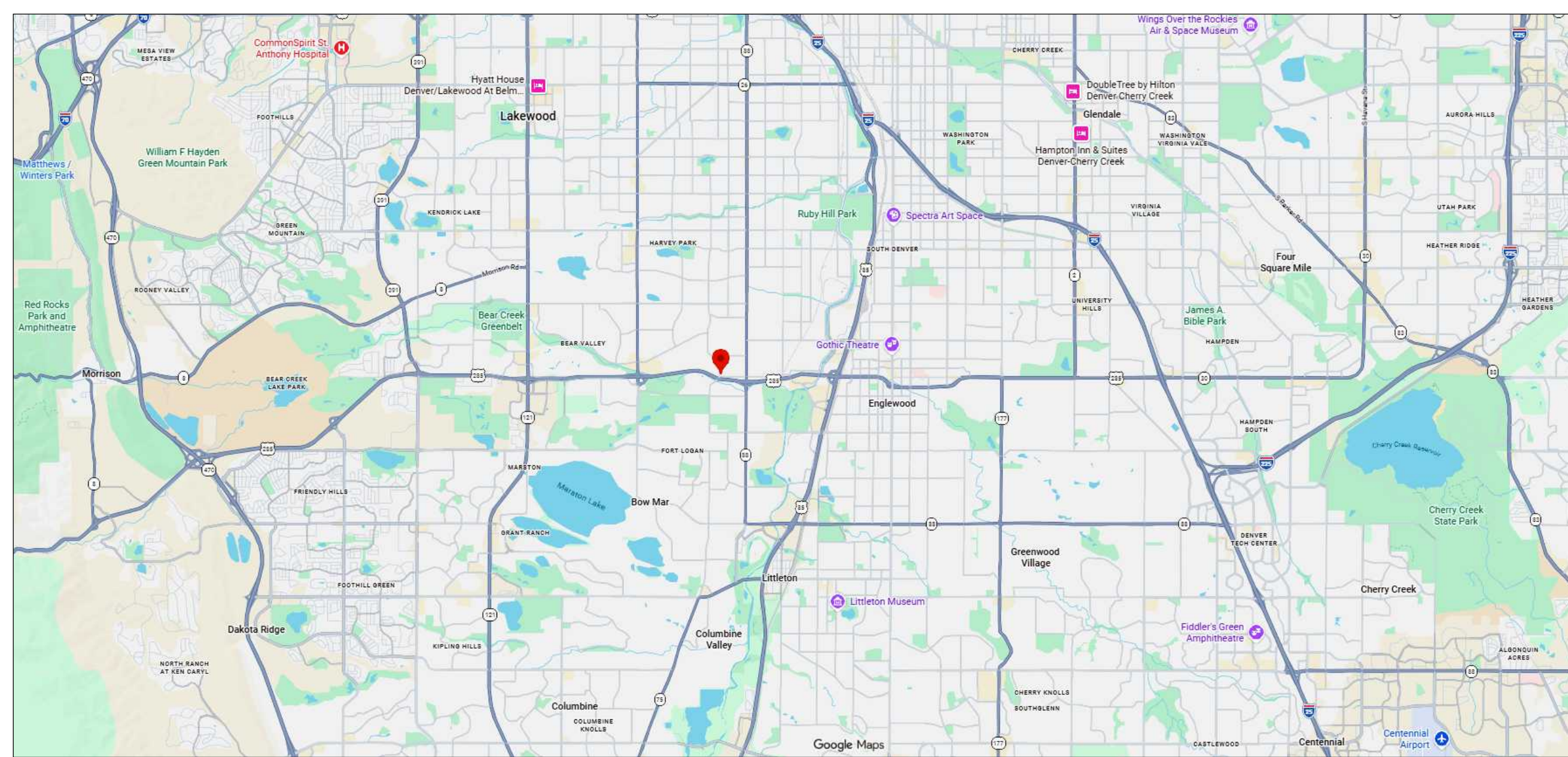
Document Date:
April 8, 2026
Document Phase:
DRAFT SET
rev. date remark

Proposed Site Plan

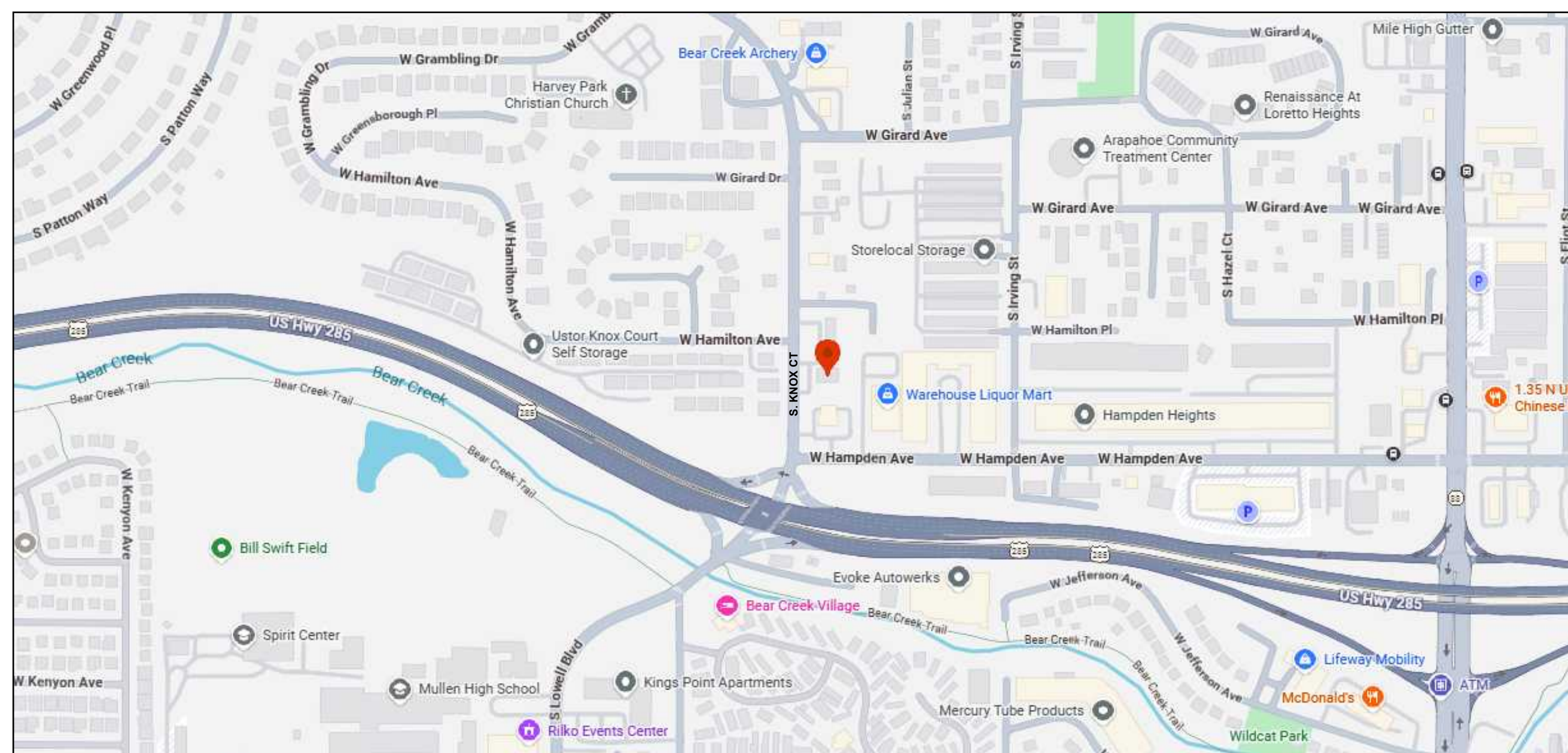
Academy Veterinary Hospital: Addition & Interior Renovation

ZONING DESIGN REVIEW SET: 03/23/2026

LOCATION MAP



VICINITY MAP



ABBREVIATIONS

@ & ABV.	AT AND ABOVE	CMU CNTR. C.O.	CONCRETE MASONRY UNIT COUNTER CLEAN OUT	FA. FACP	FIRE ALARM FIRE ALARM CONTROL PANEL	LAM. LB.	LAMINATE POUND	PT. PVC.	PRESSURE TREATED POLY VINYL CHLORIDE
A.C.	ASPHALTIC CONCRETE	COL. COMP.	COLUMN COMPOSITION	FAU. FFE.	FORCED AIR UNIT FINISHED FLOOR ELEVATION	LF. LVL.	LINEAL FOOT LAMINATED VENEER LUMBER	PVM.T. PUE.	PAVEMENT PUBLIC UTILITY EASEMENT
AC.	AIR CONDITIONING	CONC. CONC.	CONCRETE CONCRETE	FIN. FIN.	FINISH FLOOR	MAX. MECH.	MAXIMUM MECHANICAL	R. RAD.	RISER RADIUS
ACOUNT.	ACOUSTICAL	CONN. CONT.	CONNECTION CONTINUOUS	FLR. FLR.	FLOOR	MFR. MHI.	MANUFACTURER MAN HOLE	RD. RDNF.	ROOF DRAIN REINFORCING
ADNL.	ADDITIONAL	CONTR. CT.	CONTRACTOR CERAMIC TILE	GA. GALV.	GAUZE GALVANIZED	MIR. MISC.	MIRROR MISCELLANEOUS	REF. RECD.	REFRIGERATOR REQUIRED
ADJ.	ADJACENT	DBL. DET.	DOUBLE DETAIL	GC. GF.	GENERAL CONTRACTOR GROUND FAULT INTERRUPTER	MOD. MTL.	MODULY METAL	REIN. RET.	REINFORCING RETAINING
AGG.	AGGREGATE	D.F. DIA.	DOUGLAS FIR DIAMETER	GI. GND.	GALVANIZED IRON GROUND	MISC. MW.	MISCELLANEOUS MICROWAVE	REV. RM.	REVISION ROOM
ALUM.	ALUMINUM	DIM. DIV.	DIMENSION DIVISION	GSM. GYP.	GALVANIZED SHEET METAL BD. GYPSUM WALL BOARD	MISC. MOD.	MISCELLANEOUS MODULE METAL	RO. RO.	ROUGH OPENING
ALT. ARCH.	ALTERNATE ARCHITECTURAL AVERAGE	EA. ELEV.	EACH ELEVATION	HB. HDWR.	HOSE BIBB HARDWARE	MTL. (N)	METAL (NATIONAL ELECTRIC CODE)	SAN. SC.	SANITARY SEWER SOLID CORE
AVG.	AVERAGE	DET. DEPT.	DETAIL DEPARTMENT	HC. HORIZ.	HOLLOW CORE / HANDICAP HORIZONTAL	NTS. N/A	NOT TO SCALE NOT APPLICABLE	SCHED. SDR.	SCHEDULE SDR.
BCT. BD.	BELOW COUNTER TOP BOARD	D.F. DIA.	DOUGLAS FIR DIAMETER	HP. HTG.	HIGH POINT HEATING	NTS. N/A	NOT TO SCALE NOT APPLICABLE	SECT. SFT.	SECTION SQUARE FOOT/FEET
BF.	BOTH FACES	DIM. DIV.	DIMENSION DIVISION	HT. HTG.	HEIGHT HEATING	NTS. N/A	NOT TO SCALE NOT APPLICABLE	SHT. SIM.	SHEET SIMILAR
BIC.	BUILT-IN CABINET	DWG. DWG.	DRAWING	HVAC. HW.	HEATING/VENTILATION/AIR CONDITIONING HOT WATER	NTS. N/A	NOT TO SCALE NOT APPLICABLE	SQ. SPEC.	SPECIFICATIONS SQUARE
BLDG.	BUILDING	EA. ELEV.	EACH ELEVATION	IC. INCL.	INSIDE CABINET INSIDE DIAMETER	NTS. N/A	NOT TO SCALE NOT APPLICABLE	SQ. TEMP.	SQUARE TEMPERED GLASS
BLK.	BLOCK	EN. EN.	EDGE NAIL	IC. INCL.	INSIDE CABINET INSIDE DIAMETER	NTS. N/A	NOT TO SCALE NOT APPLICABLE	T&G. TOW.	TONGUE & GROOVE TOP OF WALL
BLK'G.	BLOCKING	EJ. ELEC.	EXPANSION JOINT ELECTRIC/ELECTRICAL	INCL. INFO.	INSIDE DIAMETER INFORMATION	NTS. N/A	NOT TO SCALE NOT APPLICABLE	TP. TP.	TOP OF WALL TOP PLATE
BLW.	BELOW	ELEV. EMER.	ELEVATION EMERGENCY	INSUL. INT.	INSULATION INTERIOR	NTS. N/A	NOT TO SCALE NOT APPLICABLE	UNO	UNLESS NOTED OTHERWISE
BTM.	BOTTOM	EN. EN.	EDGE NAIL	INT. INT.	INTERIOR	NTS. N/A	NOT TO SCALE NOT APPLICABLE		
BTR.	BETTER	EOP. EOP.	EDGE OF PAVEMENT	INT. INT.	INTERIOR	NTS. N/A	NOT TO SCALE NOT APPLICABLE		
BTWN.	BETWEEN	EQ. EQ.	EQUIPMENT	INT. INT.	INTERIOR	NTS. N/A	NOT TO SCALE NOT APPLICABLE		
BVL.	BEVELED	EXT. E.T.R.	EXISTING TO REMAIN	INT. INT.	INTERIOR	NTS. N/A	NOT TO SCALE NOT APPLICABLE		
CAB.	CABINET			INT. INT.	INTERIOR	NTS. N/A	NOT TO SCALE NOT APPLICABLE		
CF.	CUBIC FEET			INT. INT.	INTERIOR	NTS. N/A	NOT TO SCALE NOT APPLICABLE		
CFC.	CALIFORNIA FIRE CODE			INT. INT.	INTERIOR	NTS. N/A	NOT TO SCALE NOT APPLICABLE		
CLG.	CEILING			INT. INT.	INTERIOR	NTS. N/A	NOT TO SCALE NOT APPLICABLE		
CJ.	CONTROL JOINT			INT. INT.	INTERIOR	NTS. N/A	NOT TO SCALE NOT APPLICABLE		
CLR.	CLEAR			INT. INT.	INTERIOR	NTS. N/A	NOT TO SCALE NOT APPLICABLE		

PROJECT INFORMATION

3470 S. Knox Ct.
Englewood, CO 80110
303-905-6195
AIN: 1971-32-3-00-019

PROJECT SCOPE

THIS PROJECT CONSISTS OF:
Retaining all but two (2) existing client parking stalls on the West (front) side of the lot and creating five (5) new employee parking stalls on South-side of lot. Retaining all existing building perimeter walls and entrance vestibule. Retaining existing signage, replacing the branding on the sign. Retaining existing roofing structure and roof material except for mansard roof condition on the Eastern-side of the building. Retain the two existing RTUs and adding a new RTU on the proposed addition. Remove existing wood fence and replace with new 8' high security fence. Add new 8' high security fence enclosing north side yard area. Construct a new building addition on Eastern-side (back) of building that is in alignment with the existing building on the North and South facades. The new addition would include a 2-car garage for doctor parking (for both security and weather access), an enclosure for recycling and trash dumpsters, an enclosure for yard maintenance tools, and four kennels for large dogs. The addition placement allows for a larger south yard for the medical staff to evaluate dog movement and medical assessment. The project would also renovate the existing hospital layout to improve functionality, accessibility, improve usable space, and animal care needs.

ZONING INFORMATION

APPLICABLE SITE ZONING SUMMARY:

PROJECT ADDRESS: 3470 South Knox Court
Englewood, CO 80110
ASSESSOR'S PARCEL NUMBER: AIN: 1971-32-3-00-019

CONSTRUCTION SUMMARY:

ZONING: B-4 (SPECIALTY COMMERCIAL)
LAND USE: HOSPITALS / VETERINARY CLINIC
CONSTRUCTION TYPE: III-B
(C - MASONRY OR CONCRETE LOAD BEARING WALLS)

OCCUPANCY GROUP:

FIRE SPRINKLERS: NOT REQUIRED
LOT AREA: 0.376492 ACRES
(16,400 SF)

FLOOD ZONE:

HILLSIDE: No
ZONING REQUIREMENTS: Building Height Allowed: 30'-0"
Building Max Height Provided: 14'-0"

SETBACK REQUIREMENTS:

Building Required Setback: Front / Side / Rear
20'-0" / 25'-0" / 20'-0"
Building Provided Setback: 37'-3" / 10'-0" / 24'-0"

BUILDING FLOOR AREAS:

EXISTING BUILDING: 2,706.86 S.F.
PROPOSED BUILDING ADDITION: 1,301.25 S.F.
PROPOSED NEW TOTAL BUILDING AREA: 4,008.11 S.F.

CODES IN EFFECT:

- 2021 International Building Code (IBC)
- ANSI 1-2017 Accessible and Usable Buildings
- 2023 National Electric Code (NEC)
- Colorado Electric and Solar Ready Code
- HB22-1362 Energy Requirements
- 2021 International Plumbing Code (IPC)
- 2021 International Mechanical Code
- Arapahoe County Ordinances

JURISDICTION:

Arapahoe County
6924 S Lima St
Englewood, CO 80112

Phone: (720) 874-6650

PROJECT TEAM

OWNER:
AVH, LLC.
Academy Veterinary Hospital
Dr. Anne Pasek
3470 S. Knox Ct.
Englewood, CO 80110
303-905-6195

MECHANICAL/PLUMBING ENGINEER:
Bryan Moen, Principal
Joseph Wittenberg, PE
4640 N Pecos St., Unit F
Denver, CO 80211
914-860-6507
jwittenberg@mecengr.com

CIVIL ENGINEER:
Rocky Ridge Civil Engineering
Joel Seamons, PE
2204 18th Ave., Suite 107
Longmont, CO 80501
303-651-8626
www.rockyridgecivil.com

ARCHITECT:
Synergy Design Development, LLC.
Drew Pasek, Architect
925-765-9489
drew@synergydesdev.com
www.synergydesdev.com

STRUCTURAL ENGINEER:
Bertolami Engineering
Gwen Lysons
1465 Civil Court, Suite 1050
Concord, CA 94520
925-448-2875

ELECTRICAL ENGINEER:
D. Keller Electrical Design
Dawn Keller
303-918-9475
dawn@dkellereng.com
www.dkellereng.com



FRONTAGE PERSPECTIVE VIEW



SHEET INDEX

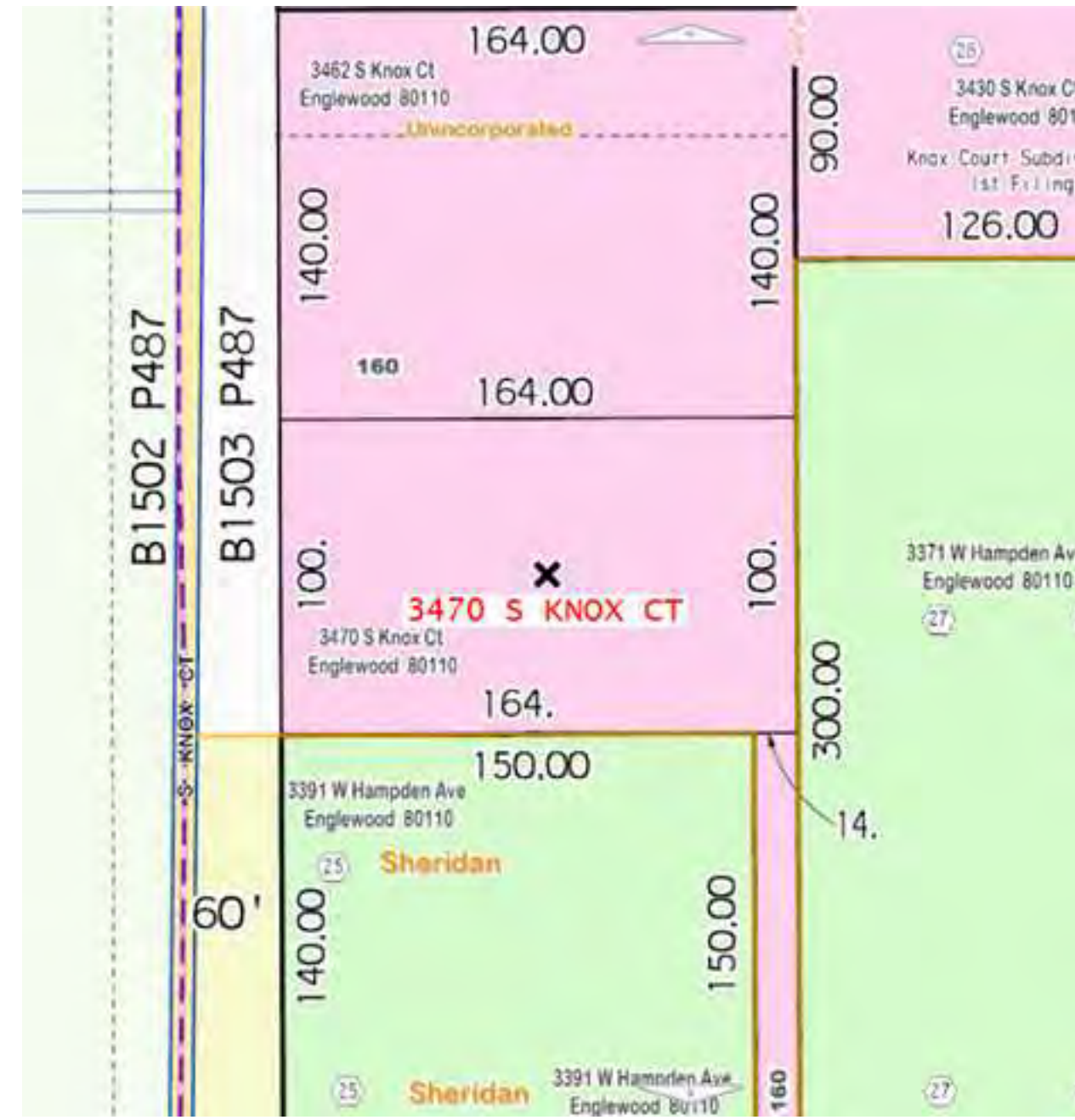
DRAWINGS	
G1	COVER TITLE, PROJECT DATA, VICINITY MAP, INDEX, CALGREEN CHECKLIST & ABBREV.
A1	PROPOSED SITE PLAN WITH PROPOSED ADDITION, SITE PLAN GENERAL NOTES, GIS & ASSESSOR'S MAP
A2	PROPOSED SITE PLAN
A3	25-FOOT NORTH YARD SETBACK HARDSHIP PLAN
A4	PROPOSED HARDSCAPE AND FENCE PLAN
A5	DEMOLITION PLAN
A6	DEMOLITION REFLECTED CEILING PLAN
A7	EXISTING ROOF PLAN
A8	EXISTING ELEVATIONS
A9	PROPOSED SLAB PLAN
A10	PROPOSED FLOOR PLAN
A11	PROPOSED FINISH & EQUIPMENT PLAN
A12	PROPOSED FINISH, FIXTURE & EQUIPMENT SCHEDULES
A13	PROPOSED DOOR & WINDOW SCHEDULE
A14	PROPOSED ROOF PLAN
A15	PROPOSED ELEVATIONS
A16	PROPOSED SECTIONS
R1	CONTEXT AND RENDERED OVERLAY IMAGES
R2	CONTEXT AND RENDERED OVERLAY IMAGES
R3	RENDERED EXTERIOR IMAGES



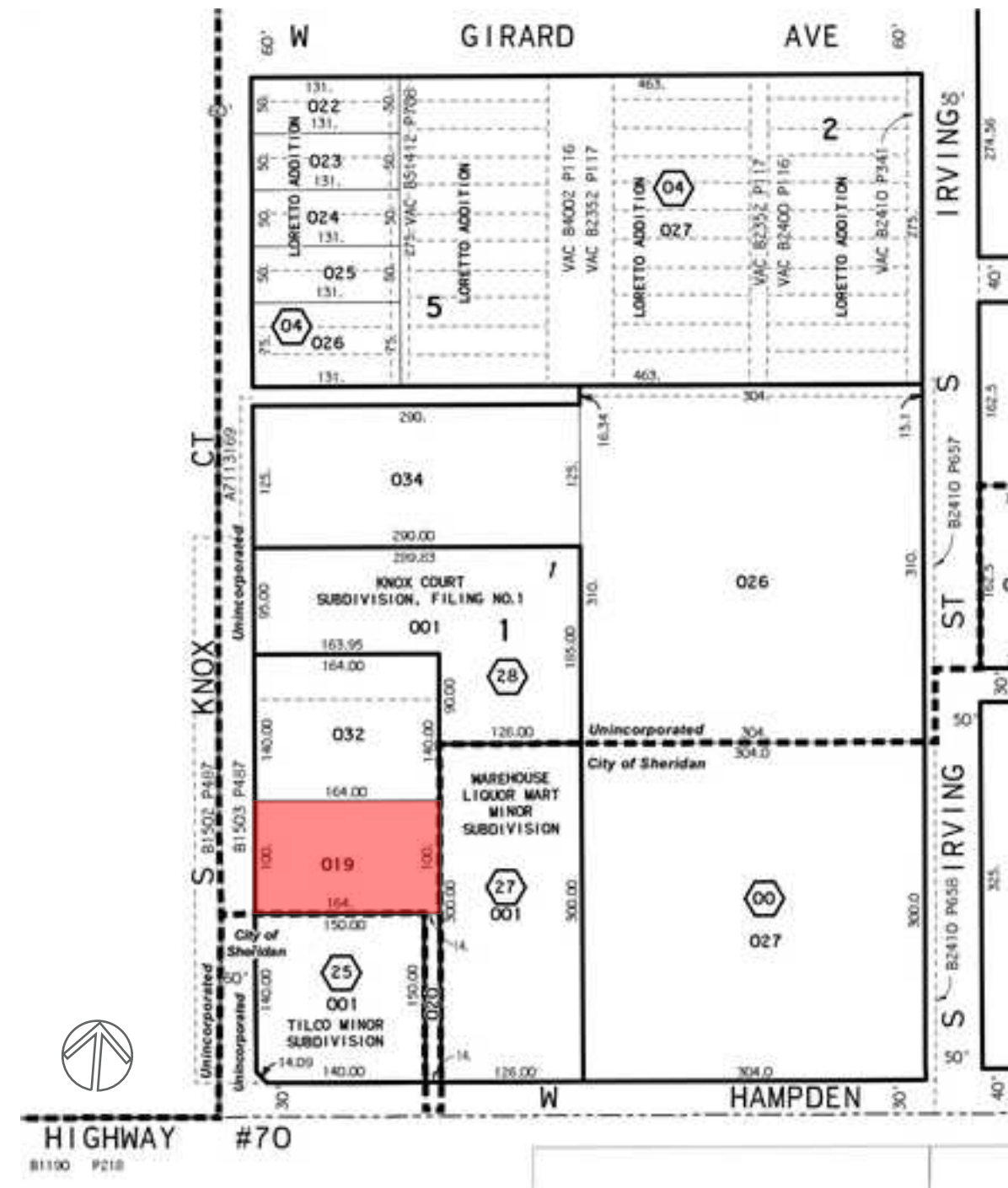
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Academy Veterinary Hospital: Addition & Interior Renovation :: AIN NUMBER: 1971-32-3-00-019 PERMIT NUMBER:

GIS MAP



ASSESSOR'S PARCEL MAP

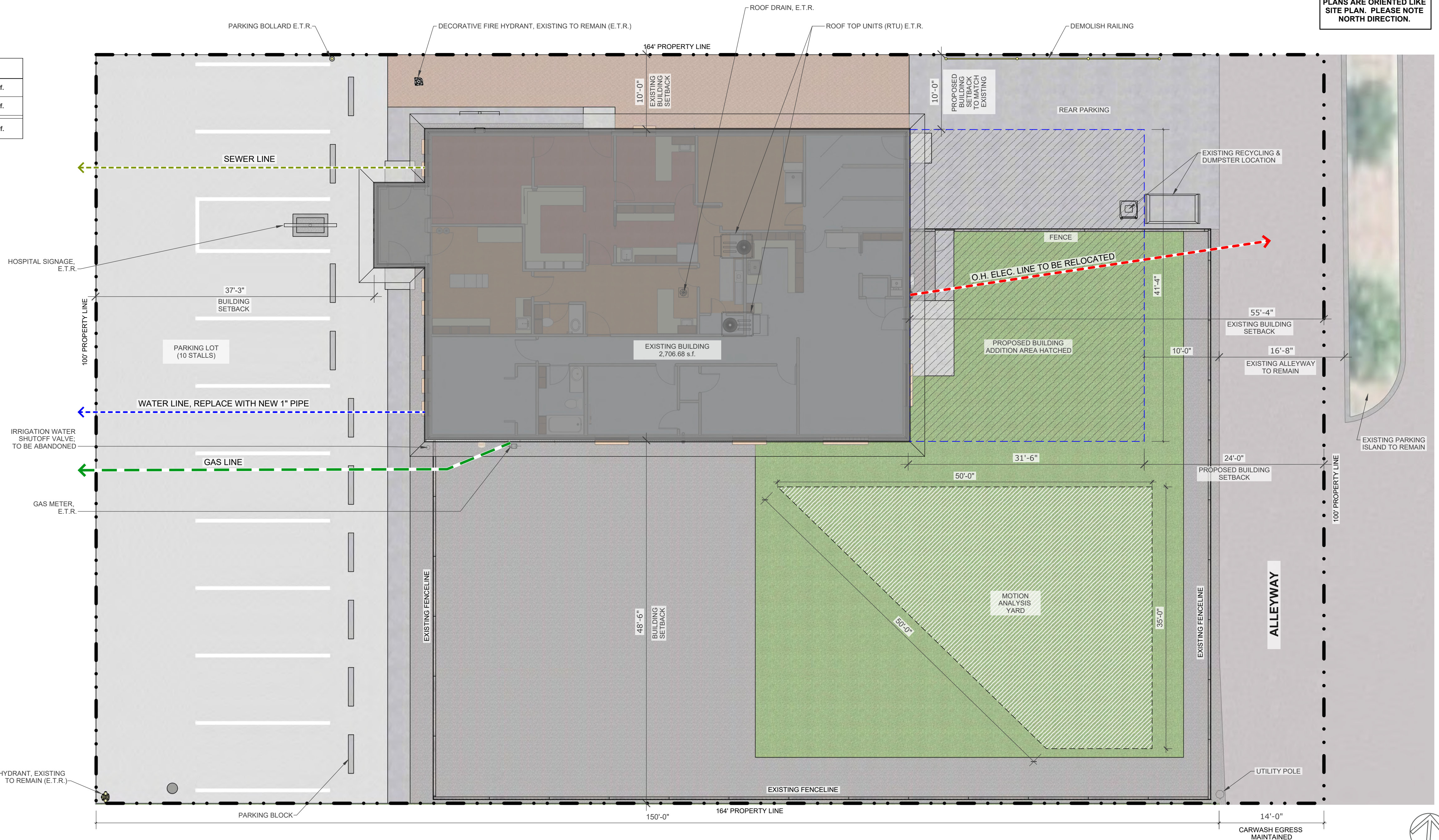


SITE PLAN GENERAL NOTES

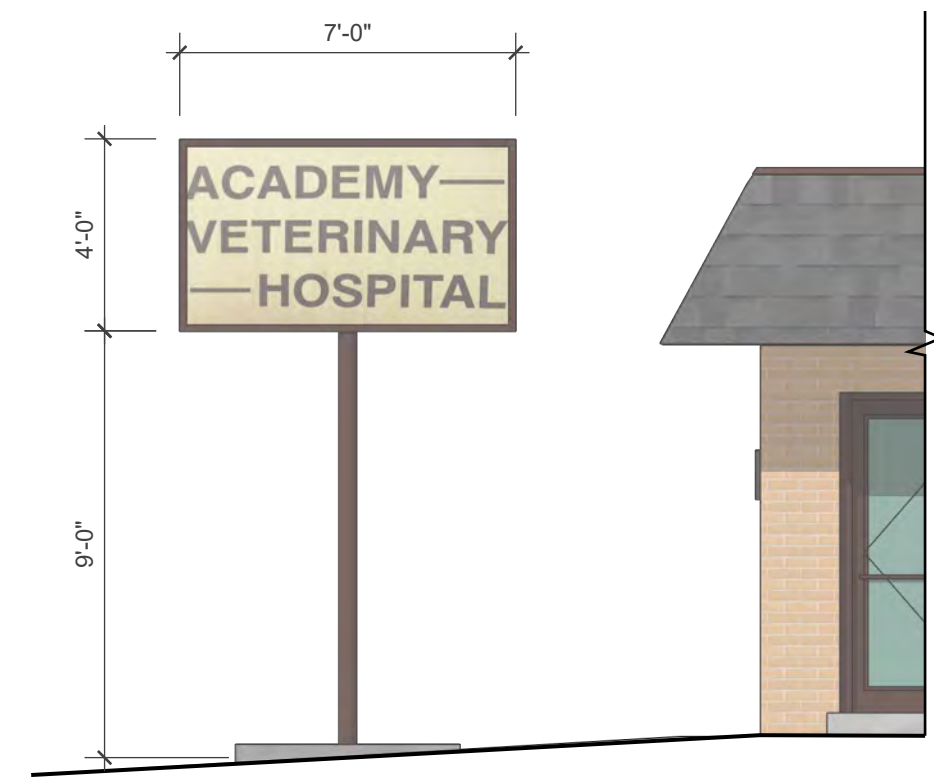
1. ALL EXISTING UTILITIES SHALL REMAIN AS LOCATED WITH MODIFICATIONS APPLIED WHERE REQUIRED BY CODE AND PROPOSED WORK. ELECTRICAL METER SHALL BE RELOCATED DUE TO PROPOSED ADDITION. CONTRACTOR SHALL REVIEW AND VERIFY UTILITY LOCATION AND PATHWAYS WITH UTILITY SUPPLIER AND OWNER PRIOR TO ANY CONSTRUCTION. UTILITY LINES SHOWN ON DRAWING ARE REPRESENTATIONAL ONLY.
2. SMALL CALIPER TREE AND SHRUB REMOVAL FOR NEW ADDITION AREA SHALL BE REVIEWED AND APPROVED BY OWNER. NO TREES SHALL BE REMOVED DUE TO THIS PROJECT.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MANAGEMENT OF EROSION CONTROL MEASURES INCLUDING FIBER ROLLS AND ANY OTHER MEASURES DEEMED NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE. CONTRACTOR IS ADVISED TO REFERENCE STORMWATER QUALITY HANDBOOKS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP'S) MANUAL, STATE OF COLORADO. STORM WATER DRAINAGE MANAGEMENT SHALL BE IMPLEMENTED PRIOR, DURING AND AFTER THE START OF CONSTRUCTION.
4. CONTRACTOR TO MINIMIZE EXPOSURE TIME OF DISTURBED SOIL AREAS BY PHASED CONSTRUCTION ACTIVITIES AND STABILIZING THE SOILS PROMPTLY.
5. CONTRACTOR TO DILIGENTLY MAINTAIN THE TEMPORARY CONSTRUCTION ACCESS TO PREVENT SOIL TRACKING INTO THE ROADWAY. ANY DUST/SOIL TRACKED INTO THE ROADWAY AND EXISTING DRIVEWAY SHOULD BE SWEEPED AND REMOVED IMMEDIATELY.
6. CONTRACTOR SHALL PROVIDE SITE SECURITY ENCLOSURES, TEMPORARY FENCING, AND OTHER RESTRICTIVE MEASURES TO DETER PUBLIC ACCESS TO ALL AREAS OF CONSTRUCTION. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE SECURITY AND PREVENTION OF THEFT FOR ALL FINISHES, FIXTURES, AND EQUIPMENT LOCATED ON OR OFF SITE IN THEIR CONTROL DURING CONSTRUCTION.
7. ALL SEWER FACILITIES SHALL MEET LOCAL SANITARY DISTRICT CODE REQUIREMENTS.
8. ALL TREES IN THE CONSTRUCTION ZONE SHALL BE PROTECTED WITH PLASTIC MESH FENCING 4'-0" TALL AT THEIR DRIPLINES. TREES IN CLOSE PROXIMITY OF EACH OTHER MAY BE PROTECTED AS GROUPS. ALL EXCAVATION INSIDE THE DRIPLINE OF TREES SHALL BE DONE BY HAND WITH NO HEAVY EQUIPMENT IF TREES ARE TO BE RETAINED.
9. ANY EXCAVATED BOULDERS SHALL BE RETAINED ON SITE AND LOCATED PER OWNER DIRECTION.
10. ALL AREAS OF EXPOSED SOIL WILL BE STABILIZED WITH PINE STRAW OR MULCH PRIOR TO SUBMITTING FOR FINAL RELEASE. DISTURBED AREAS WILL BE REVEGETATED PER OWNER/LANDSCAPE DESIGNER DIRECTION POST-CONSTRUCTION.
11. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL REQUIRE AN ENCROACHMENT PERMIT FROM ARAPAHOE COUNTY.
12. NEW DRIVEWAY PAVEMENT AND SIDEWALK SHALL BE CONSTRUCTED TO COUNTY STANDARDS. REFER TO CIVIL DRAWINGS FOR MINIMUM BASE ROCK REQUIREMENTS BENEATH DRIVEWAY/WALKWAY CONCRETE. THE DRIVEWAY/SIDEWALK MUST MEET CURRENT ADA REQUIREMENTS.
13. ALLEYWAY VEHICULAR ACCESS MUST REMAIN UNOBSTRUCTED FOR ADJACENT BUSINESS' USE.

	AREA
EXISTING BUILDING	2,706.86 s.f.
PROPOSED BUILDING ADDITION	1,301.25 s.f.
PROPOSED TOTAL AREA	4,008.11 s.f.

SOUTH KNOX COURT
(SOUTH LOWELL BLVD)



NOTE: ALL ARCHITECTURAL PLANS ARE ORIENTED LIKE SITE PLAN. PLEASE NOTE NORTH DIRECTION.



2 EXISTING SITE SIGNAGE ELEVATION
A1 SCALE: 1/4" = 1'-0"

1 EXISTING SITE PLAN WITH PROPOSED BUILDING ADDITION LOCATION
A1 SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



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rev. date remark

Existing Site Plan with
Proposed Addition, Site
Plan General Notes, GIS
& Assessor's Map



SOUTHEAST AERIAL VIEW



NORTHEAST AERIAL VIEW

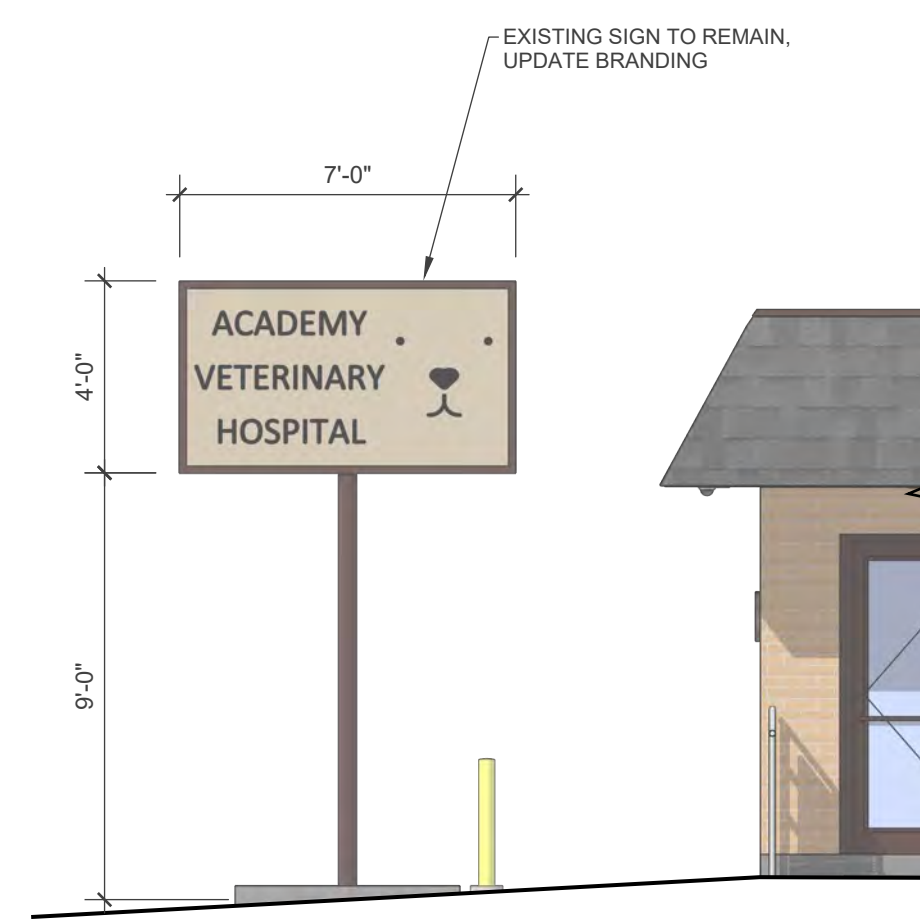
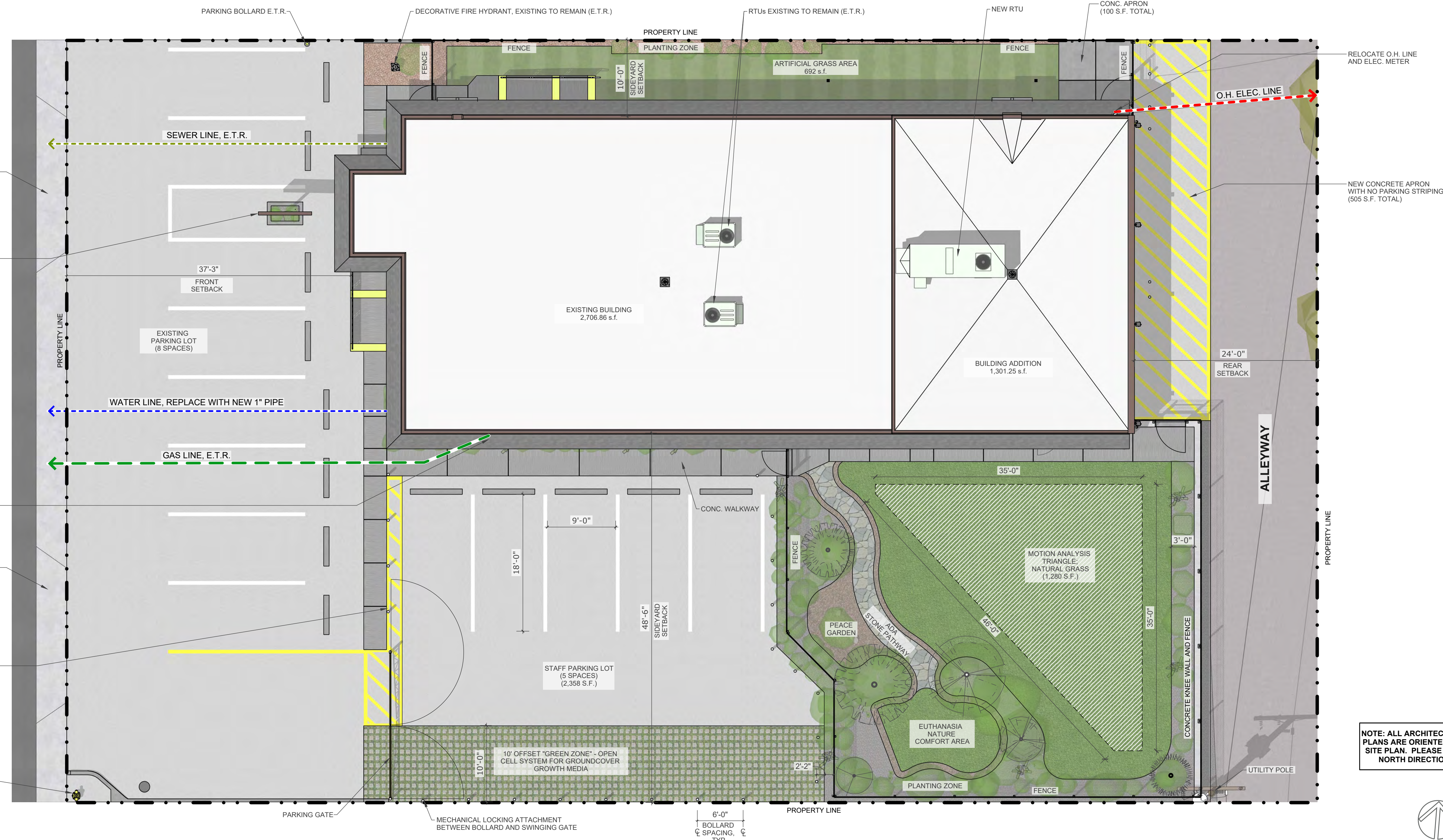


NORTHWEST AERIAL VIEW



SOUTHWEST AERIAL VIEW

	AREA
EXISTING BUILDING	2,706.86 s.f.
PROPOSED BUILDING ADDITION	1,301.25 s.f.
PROPOSED TOTAL AREA	4,008.11 s.f.



2 SITE SIGNAGE ELEVATION
A2 SCALE: 1/4" = 1'-0"

1 PROPOSED SITE PLAN
A2 SCALE: 1/8" = 1'-0"

0 10' 20'
SCALE: 1/8" = 1'-0"



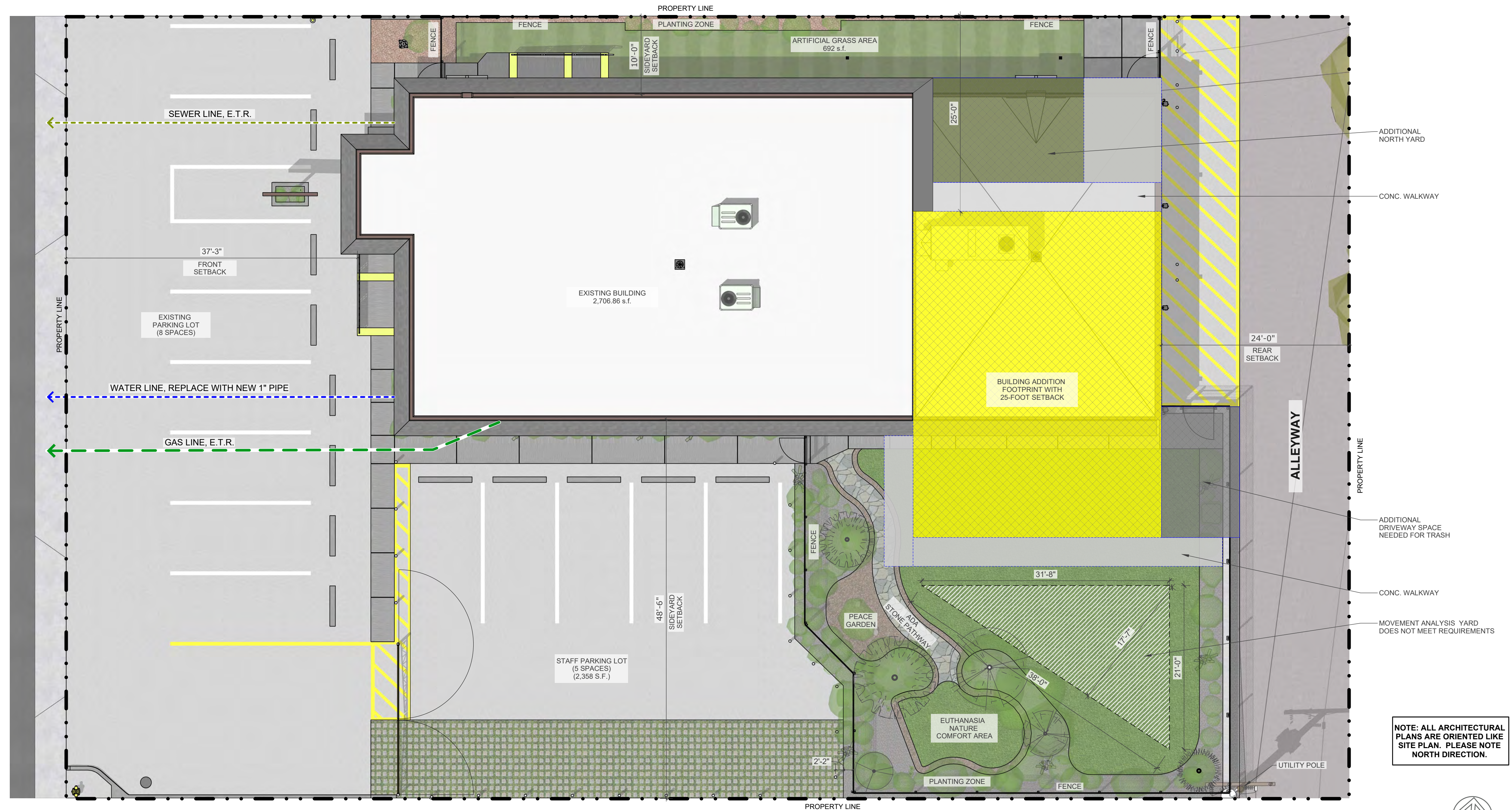
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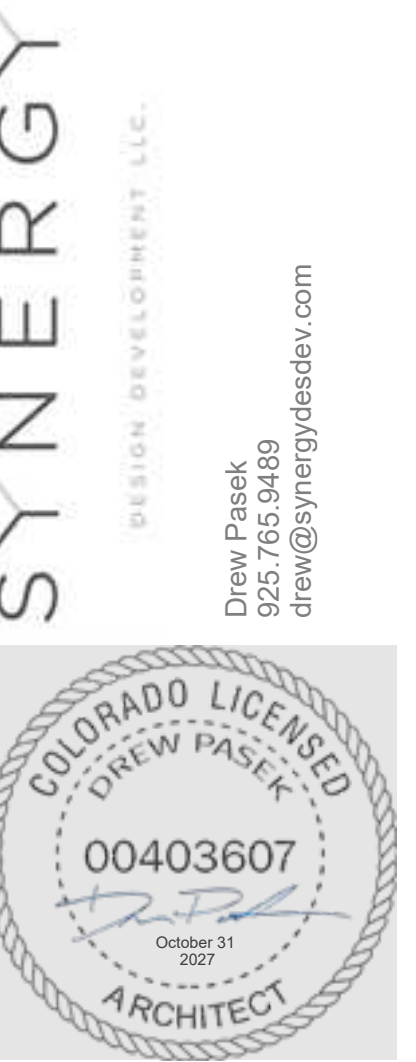
Proposed Site Plan

SOUTH KNOX COURT
(SOUTH LOWELL BLVD)



1 HARDSHIP SITE PLAN
A3 SCALE: 1/8" = 1'-0"

0 10' 20'
SCALE: 1/8" = 1'-0"



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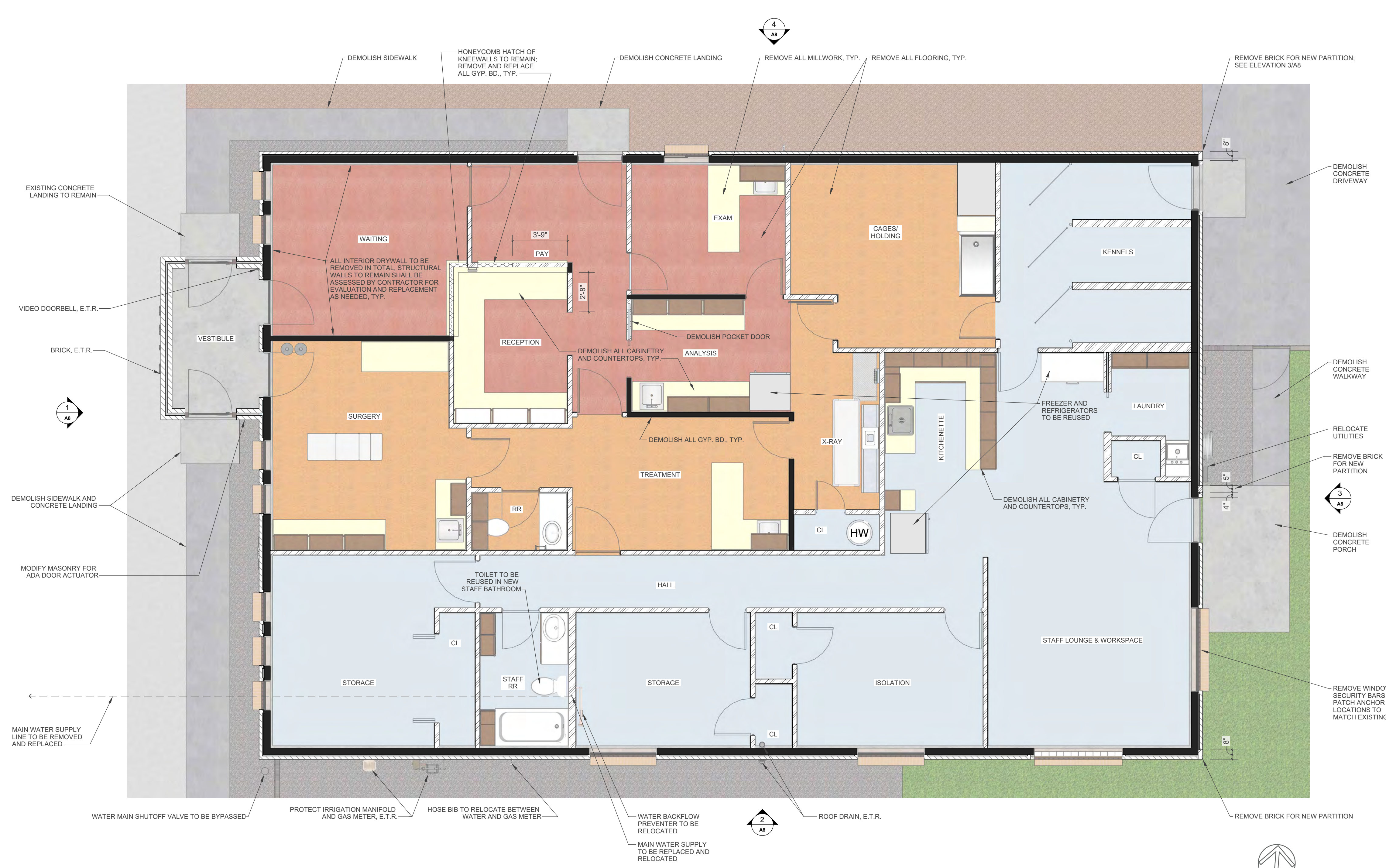
Document Date:
March 23, 2026

Document Phase:
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rev.	date	remark

25-Foot North Yard
Setback Hardship Plan

A3



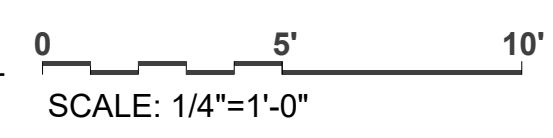
DEMOLITION LEGEND

- PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN, CONTRACTOR TO MODIFY TOP PLATE TO 9'-1"

GENERAL DEMOLITION NOTES:

1. REFER TO DOOR AND WINDOW SCHEDULE FOR EXTERIOR FACADE DEMOLITION REQUIREMENTS.
2. UNLESS NOTED OTHERWISE, DIMENSIONS INDICATED FOR WALL REMOVAL ARE BASED OFF OF EXISTING FRAMING. CONTRACTOR TO VERIFY DIMENSIONS AND COORDINATE WITH NEW WORK PLAN BEFORE DEMOLITION CONSTRUCTION BEGINS.
3. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY STRUCTURAL SUPPORT FOR BUILDING WHEN DEMOLISHING PARTITIONS.
4. CONTRACTOR SHALL ADHERE TO PROPOSED PHASING PLANS FOR CONSTRUCTION WORK AND NOTIFY ARCHITECT AND OWNER OF ISSUES IMMEDIATELY.
5. CONTRACTOR TO COORDINATE RELOCATION OF ALL UTILITIES AS NEEDED PER NEW WORK. EXISTING HW TANK TO REMAIN IN USE UNTIL NEW HW TANK AND PLUMBING CAN BE USED. EXISTING R.T.U.'S TO REMAIN IN PLACE. REFER TO MECHANICAL PLAN FOR PHASING REQUIREMENTS. ACCOMMODATE PROPOSED INTERIOR CEILING HEIGHT OF 9'-0" CLEAR WITH NEW DUCTWORK PER MECHANICAL.
6. DEMOLISH CONCRETE WALKWAY/DRIVEWAY WHERE INDICATED. COORDINATE DRIVEWAY AND WALKWAY LOCATIONS AND ELEVATIONS WITH CIVIL PROPOSED SITE PLAN AND PROVIDE APPROPRIATE POSITIVE DRAINAGE AWAY FROM FOUNDATION AND PREVENT POOLING OF WATER ON SIDEWALK SURFACES.
7. ASBESTOS ABATEMENT TO BE PROVIDED PER ASBESTOS REPORT. CONTRACTOR TO COORDINATE WITH REMEDIATION EXPERT TO MAINTAIN PROPER ENVIRONMENTS FOR CONTINUOUS HOSPITAL USE DURING PHASED WORK. ALL INTERIOR GYP. BD. SHALL BE REMOVED IN TOTAL AND REPLACED WITH NEW PER PARTITION SCHEDULE.
8. NEW DRIVEWAYS AND WALKWAYS SHALL BE CONSTRUCTED TO COUNTY AND CODE STANDARDS. A MINIMUM OF 6 INCHES OF BASE ROCK UNDER THE DRIVEWAY/WALKWAY CONCRETE SHALL BE IMPLEMENTED. THE DRIVEWAY/WALKWAY MUST MEET CURRENT ADA REQUIREMENTS.

1 EXISTING / DEMOLITION PLAN
A5 SCALE: 1/4" = 1'-0"





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rev.	date	remark

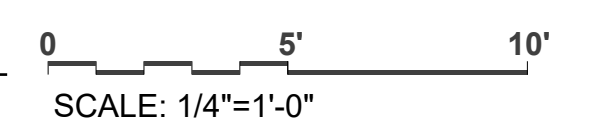
Demolition Reflected
Ceiling Plan

DEMOLITION NOTES:

1. REMOVE ALL CEILING FIXTURES, TILES, AND EQUIPMENT. VERIFY WITH OWNER SPECIALTY LIGHTING REUSE.
2. REMOVE ALL EXTERIOR SOFFIT BOARD AND LIGHTING
3. COORDINATE MECHANICAL, PLUMBING, AND ELECTRICAL DEMOLITION WITH PHASING PLANS.



1 DEMOLITION REFLECTED CEILING PLAN
A6 SCALE: 1/4" = 1'-0"





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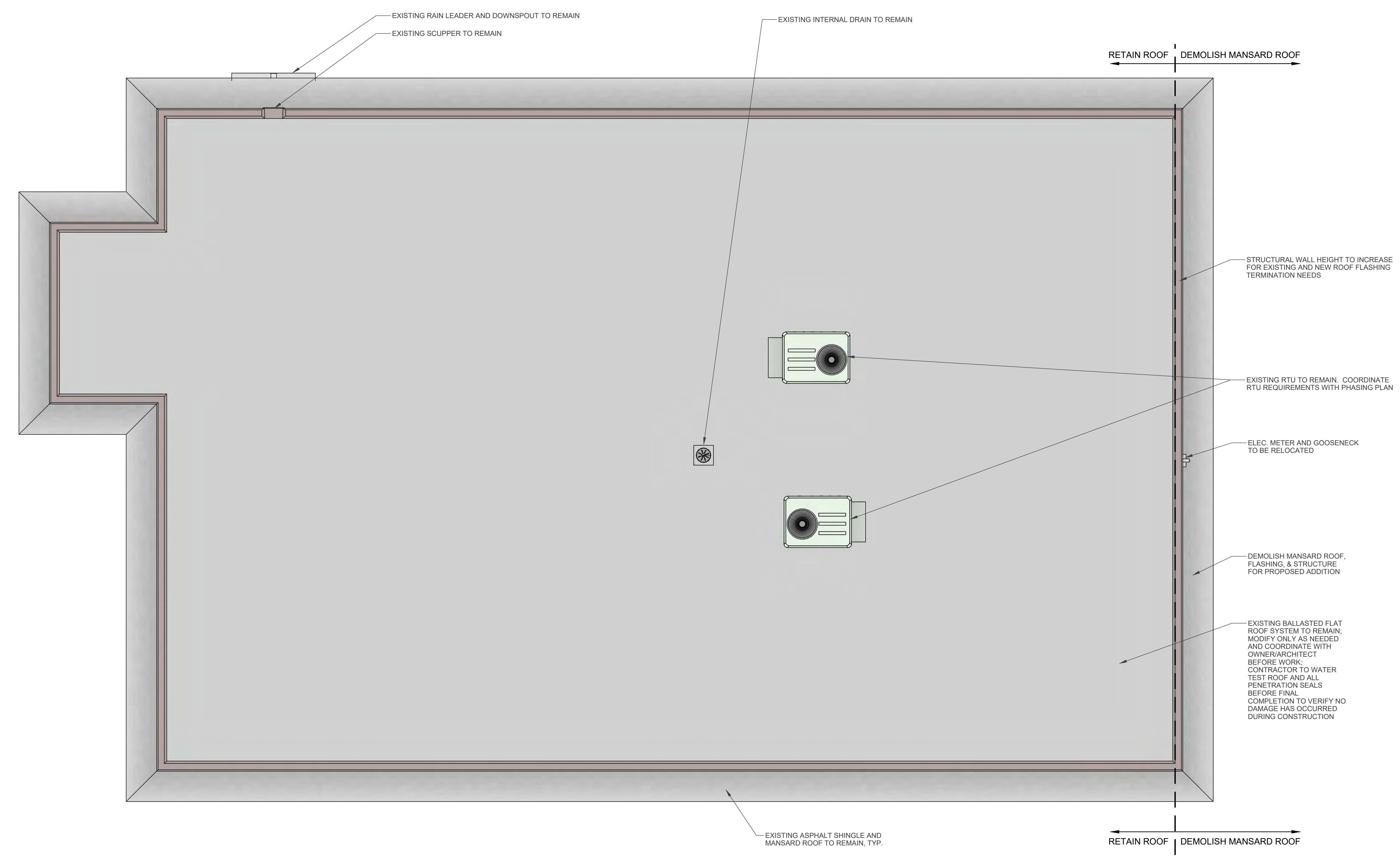
Document Phase:
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Existing Roof Plan

DEMOLITION NOTES:

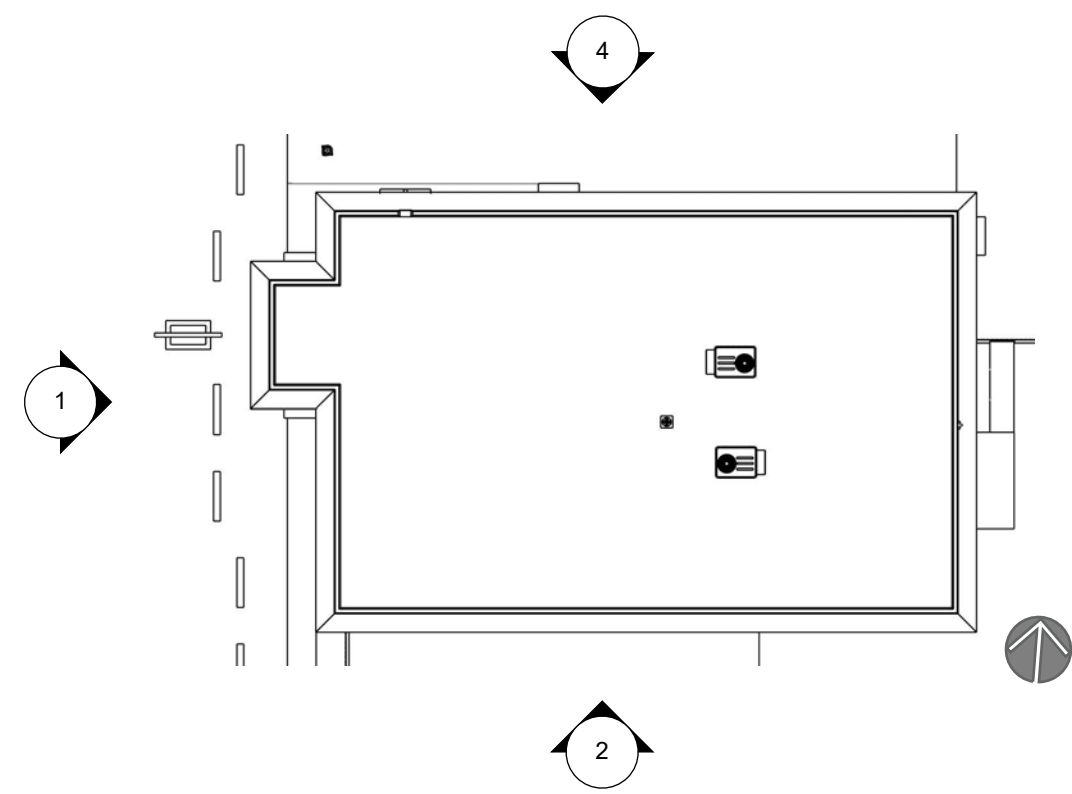
1. REMOVE ALL CEILING FIXTURES, TILES, AND EQUIPMENT. VERIFY WITH OWNER SPECIALTY LIGHTING REUSE.
2. REMOVE ALL EXTERIOR SOFFIT BOARD AND LIGHTING



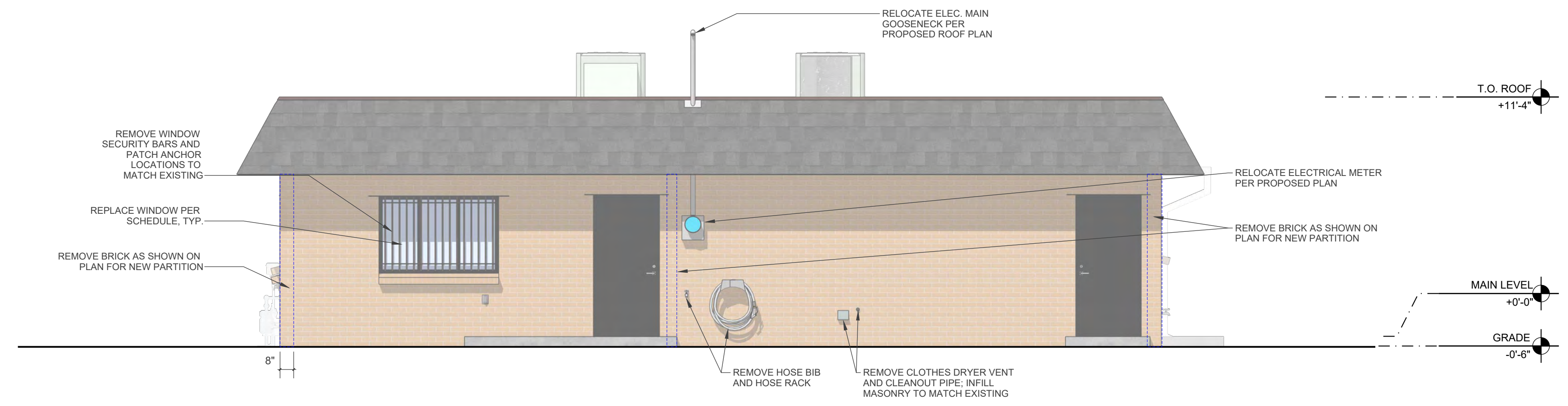
1 EXISTING ROOF PLAN
A7 SCALE: 1/4" = 1'-0"

0 5' 10'
SCALE: 1/4" = 1'-0"

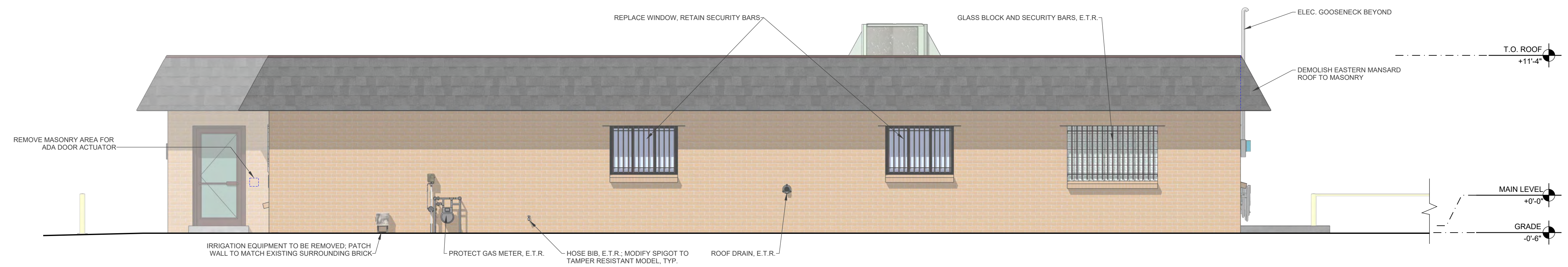
KEY PLAN



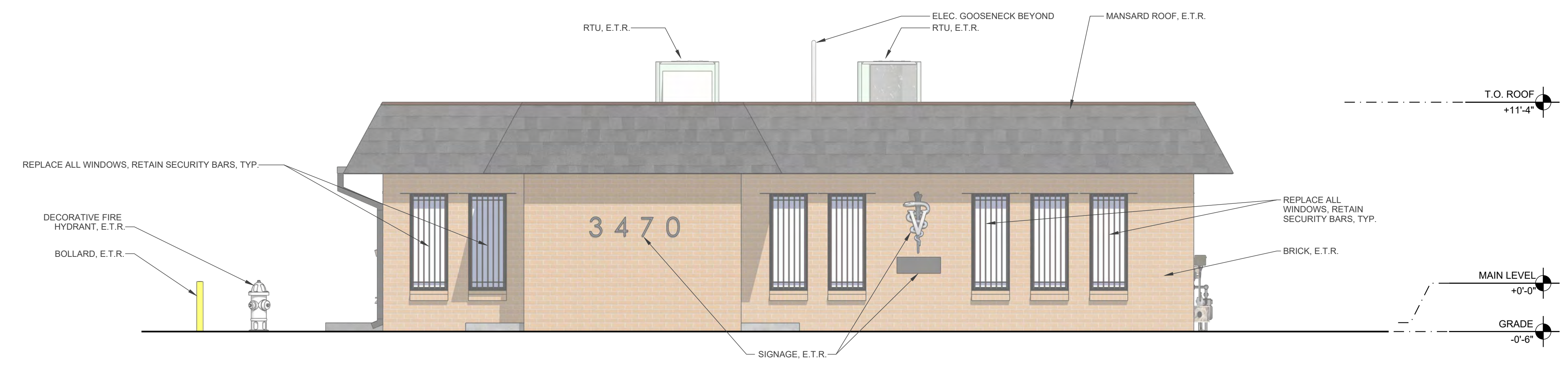
4 EXISTING NORTH ELEVATION
A8 SCALE: 1/4" = 1'-0"



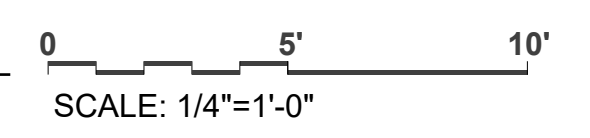
3 EXISTING EAST ELEVATION
A8 SCALE: 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION
A8 SCALE: 1/4" = 1'-0"



1 EXISTING WEST ELEVATION
A8 SCALE: 1/4" = 1'-0"



SYNERGY
DESIGN DEVELOPMENT LLC.

Drew Pasek
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COLORADO LICENSED
DREW PASEK
00403607
October 31, 2022
ARCHITECT

Academy Veterinary Hospital
Addition & Interior Renovation

Academy Veterinary Hospital
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Existing Elevations

A8

FLOOR PLAN GENERAL NOTES:

- Wall framing to comply per structural drawings.
- Refer to Partition Legend on this sheet for wall types. See structural plans for all structural requirements.
- Ceiling heights are to be measured from the top of the slab/subfloor to bottom of ceiling tile units, see Reflected Ceiling Plan for more information.
- All angles shall be 90 degrees (UNO).
- Exposed insulation materials installed in attic shall have a critical radiant flux of not less than 0.12 W/cm² when tested in accordance with ASTM E970. Section 720.3.1
- Thermal insulation must comply with the International Energy Conservation Code (IECC 2021/2022), which is referenced by IBC Chapter 13 and Section 701.2 for energy efficiency.
- Fireblocking shall be installed in combustible construction to cut off concealed draft openings, using materials such as 2-inch nominal lumber, gypsum board, or other approved materials. Section 718.2 & 718.2.1
- Fireblocking shall be provided in concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs, vertically at ceiling/floor levels and horizontally at intervals not exceeding 10 feet. Section 718.2.2
- Provide fireblocking at the following locations; in concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs as follows:
 - Vertically at the ceiling and wall levels
 - Horizontally at intervals not exceeding 10 feet at all interconnections between concealed vertical and horizontal spaces such as occurs @ soffits, drop ceilings & cove ceilings.
 - At openings around vents, pipes, ducts, cables & wires at ceiling & floor level combustion. The material filling this annular space shall not be required to meet the ASTM E 136.
- Structural elements supporting fire-resistance-rated assemblies must be protected with gypsum board membranes (1/2-inch gypsum = 15 minutes, 5/8-inch Type X = 40 minutes). Section 722.6.2 & Table 722.6.2(1)
- Section 2406.4 & 2406.1: Each pane of glazing in hazardous locations must bear a permanent manufacturer's designation (acid etched, sandblasted, ceramic-fired, laser etched, embossed, or equivalent) or a label that cannot be removed without being destroyed.
- Provide BATT insulation (R-19 in 2x6 walls, R-15 in 2x4 walls) in all bathroom walls, Ward Room walls, Kennel perimeter walls, Exam Room walls, Surgery wall adjacent to Exam 3, and Compressed Gas Enclosure walls. See plan for callouts.
- Provide safety glazing in all hazardous locations in accordance with IBC Section 2406, including but not limited to:
 - Glazing in doors and in enclosures for showers, tubs, and similar fixtures
 - Glazing adjacent to doors where the nearest vertical edge is within 24 inches of the door in the closed position and the bottom edge is less than 60 inches above the floor.
 - Glazing in sliding doors and other locations defined as hazardous by IBC 2406
- Where a garage or parking area is attached to occupied spaces, provide fire resistance rated separation and opening protection in accordance with IBC Section 406. Doors in such separations shall be self-closing and self-latching and shall have the required fire protection rating.
- Landings shall be provided on each side of every door in accordance with IBC Section 1010.1.6.
 - Landing elevation shall not exceed the allowable threshold height difference.
 - Exceptions for exterior landings at small stair runs may apply per IBC 1010.1.6.2.
- Threshold Heights

Thresholds at doorways shall comply with IBC 1010.1.7 and ICC A117.1 accessibility standards:

 - Maximum threshold height: 1/2 inch for most doors
 - Maximum 3/4 inch for sliding doors where permitted
 - Changes in level greater than 1/4 inch shall be beveled at a slope not steeper than 1:2

OXYGEN TANK STORAGE REQUIREMENTS FOR ROOM #29 COMPRESSED GAS ENCLOSURE:

Interior walls and ceiling shall have a 2-hour fire rating.

Ventilation Rate: Mechanical ventilation must operate at a minimum rate of 1 cfm per square foot of floor area over the storage area. See Mechanical Dwg's.

Continuous Operation: Systems must operate continuously, or be designed to operate upon detection of high oxygen levels, to maintain negative pressure within the storage enclosure.

Air Intake Location: Inlets for the ventilation system should be located within 1 foot of the floor to properly circulate air.

Discharge to Exterior: Room has direct, and is only accessed by, the exterior. Dedicated mechanical duct exhaust is provided. See Mechanical Dwg's.

Emergency Controls: A manual shutoff control shall be provided outside the room and labeled. See Mechanical Dwg's.

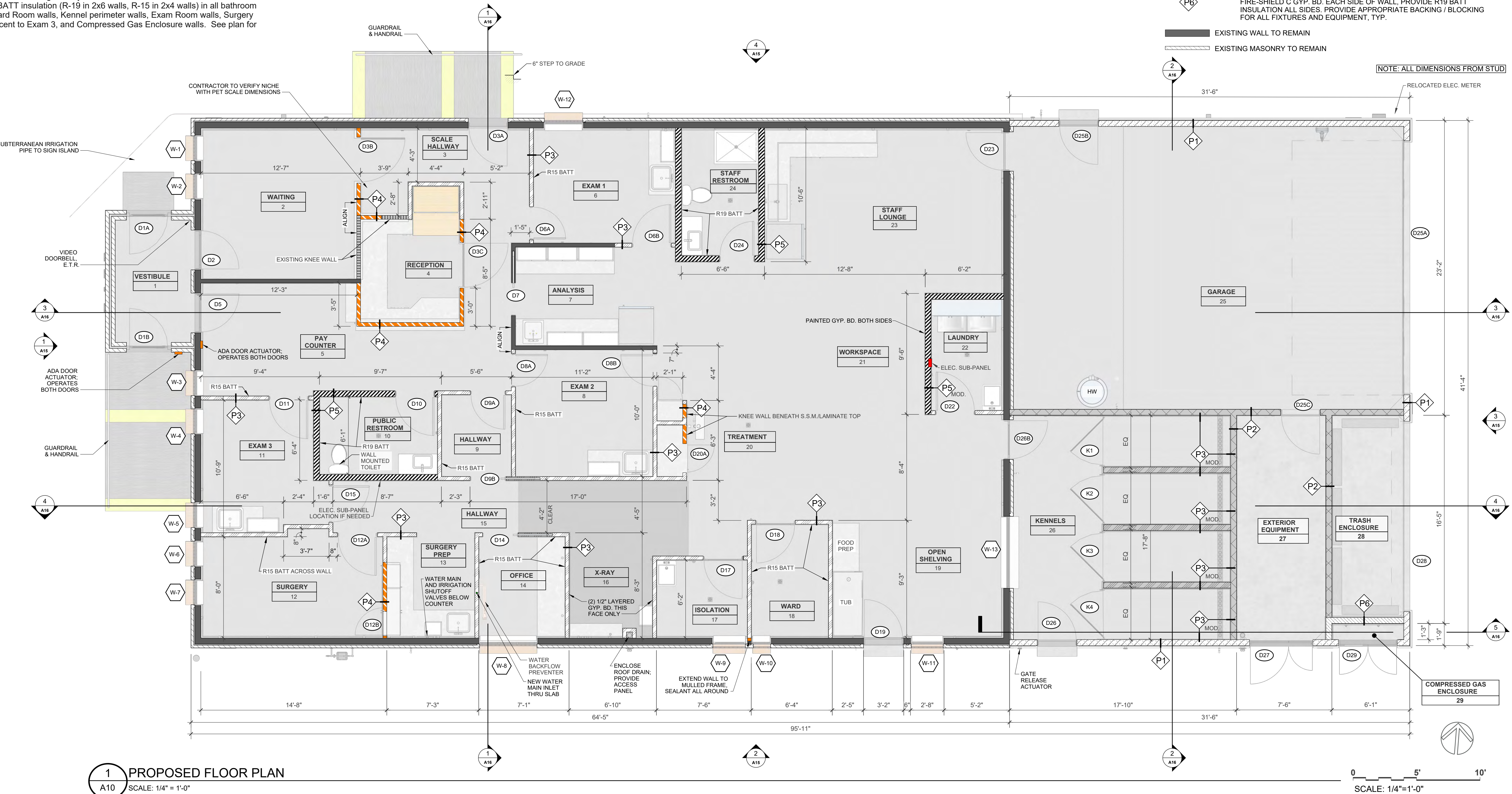
Separation: Exhaust systems for oxygen storage cannot be connected to spaces that contain flammable materials. See Mechanical Dwg's.

Storage Limits: Natural ventilation may be acceptable if the total gas volume falls below 3,000 cubic feet; otherwise, mechanical ventilation is required. Total gas volume of space is 92.2 cubic feet for this project.

Gas Cabinets: Gas cabinets for storing compressed medical gases must be connected to an exhaust system with a minimum average velocity of 200 feet per minute at the access port. See Mechanical Dwg's.

NEW PARTITION LEGEND AND INFORMATION

- P1** NEW EXTERIOR PARTITION, TYPE P1: 2x6 STUD WALL, 1/2" OSB EXTERIOR SHEATHING, VAPOR BARRIER, TYVEK BUILDING WRAP & 3-LAYER STUCCO SIDING SYSTEM (REFERENCE IMPACT RESISTANT "PANZER MESH" BY DRYVIT), PAINT INTERIOR CMU SURFACE, TYP.
- P2** NEW INTERIOR PARTITION, TYPE P2: INTERIOR 2x6 STUD 16" O.C., INSTALL 1/2" GYP. BD. IN GARAGE, 1/2" MARINE PLY WD IN TRASH AND YARD STORAGE ROOMS, PROVIDE APPROPRIATE BACKING / BLOCKING FOR FIXTURE AND EQUIPMENT NEEDS, R-19 BATT INSULATION FOR ALL KENNEL PERIMETER WALLS.
- P3** NEW INTERIOR PARTITION, TYPE P3: INTERIOR 2x6 STUD 16" O.C., INSTALL 1/2" GYP. BD. EACH SIDE, PROVIDE FRP BOARD PER FINISH SCHEDULE, PAINT GYP. BD. PER FINISH SCHEDULE. PROVIDE APPROPRIATE BACKING / BLOCKING FOR FIXTURE AND EQUIPMENT NEEDS, FRP FOR ALL WET SURFACE CONDITIONS, TYP.
- P3 MOD.** NEW INTERIOR PARTITION, TYPE P3 (MODIFIED FOR KENNEL ENCLOSURES): INTERIOR 2x4 STUD 16" O.C., INSTALL 1/2" PURPLE GYP. BD. KENNEL SIDE ALL AROUND, 1/2" DUROCK KENNEL SIDE ALL AROUND. APPLY EPOXY FLOOR COATING TO ALL EXPOSED SIDES OF WALL, INCLUDING TOP.
- P4** NEW INTERIOR KNEE-WALL PARTITION, TYPE P4: INTERIOR 2x4 STUD 16" O.C., WALL HEIGHT PER COUNTERTOP ELEVATIONS, ALIGN FINISHES WHERE PRESENT. INSTALL GYP. BD. EACH SIDE, PROVIDE FRP BOARD PER FINISH SCHEDULE, PAINT GYP. BD. PER OWNER'S SELECTION. PROVIDE APPROPRIATE BLOCKING / BACKING AND SURFACE FINISH IN WET CONDITION, TYP.
- P5** NEW INTERIOR PARTITION, TYPE P5: INTERIOR 2x6 STUD 16" O.C., INSTALL 1/2" GYP. BD. EACH SIDE, PROVIDE R19 BATT INSULATION IN ALL. FRP BOARD WITHIN ALL BATHROOM WALL SURFACES. PROVIDE APPROPRIATE BACKING / BLOCKING FOR ALL FIXTURES AND EQUIPMENT, TYP. 1/2" GYP. BD. PAINTED IN LAUNDRY ROOM PARTITIONS.
- P6** NEW INTERIOR 2-HR RATED PARTITION, TYPE P6 (UL-U301): INTERIOR 2x6 STUD 16" O.C., INSTALL 2-LAYERS OF 5/8" GOLD BOND XP FIRE-SHIELD C GYP. BD. EACH SIDE OF WALL, PROVIDE R19 BATT INSULATION ALL SIDES. PROVIDE APPROPRIATE BACKING / BLOCKING FOR ALL FIXTURES AND EQUIPMENT, TYP.
- EXISTING WALL TO REMAIN**
- EXISTING MASONRY TO REMAIN**



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Proposed Floor Plan

A10

WALL FINISHES



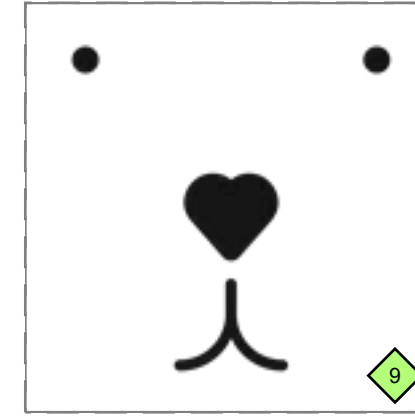
MARINE-GRADE PLYWOOD
(ALL WALLS
ROOM #27 & #28)
SYMBOL **12**



Subway - White Panel
with Black
Grooves SS916-G63R
FRP WALL PROTECTION
MARLITE SUBWAY PANEL
(PUBLIC RESTROOM #10)
SYMBOL **11**



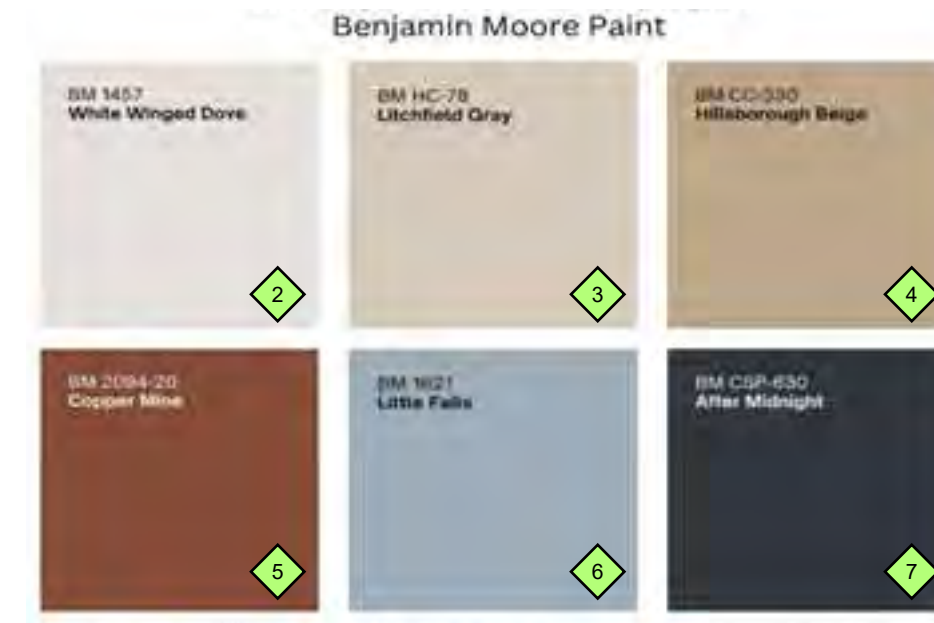
P 145 SILVER
CLASS C
CLASS A
FRP WALL PROTECTION
MARLITE 4x8 PANEL
(SEE PLAN & SCHEDULE)
SYMBOL **10**



AVH LOGO
CUSTOM METALWORK
BLACK POWDER COAT
SYMBOL **9**



WALL ACCENT PAINT COLOR
BM ANTIQUE COPPER
(GLOSS - WORKSTATION AREA ONLY)
SYMBOL **6**

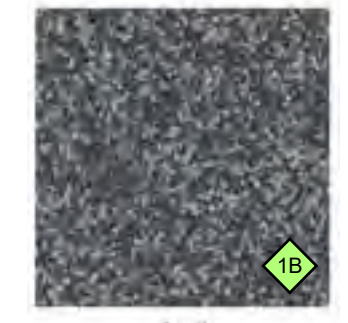


Benjamin Moore Paint
WALL PAINT COLORS
(SEM-GLOSS)

FLOOR FINISH



White Pepper
SYMBOL **1**



Arvil
X-RAY ROOM AND ADJACENT
HALL ONLY
SYMBOL **18**

BUILDING EQUIPMENT



WALL ANCHOR
(TRX OR EQUAL)
PROVIDE REINFORCED
BLOCKING FOR EACH
LOCATION
MOUNTED 24" A.F.F.,
U.N.O. (8 TOTAL)
SYMBOL **2**



FOLDING WALL TABLE
PROVIDE REINFORCED
BLOCKING FOR EACH
LOCATION
SYMBOL **3**



DOG WASH STATION
"TUB"
SYMBOL **4**



DENTAL X-RAY UNIT
SYMBOL **5**



OXYGEN CEILING DROP
(ROOM # 12, 16, 17, & 20)
SYMBOL **6**



DOORBELL CAMERA
(1 EXISTING, 2 NEW UNITS)
SYMBOL **14**



CORNER GUARD
(19 CORNERS)
SYMBOL **7**



SPECIAL FOLDING WALL
TABLE IN SURGERY
SYMBOL **8**



DOORSTOP WALL
PROTECTOR
(13 UNITS)
SYMBOL **13**



HAWS 7620, AXION eyePOD Stainless Steel,
FAUCET-MOUNTED EYE WASH STATION
(1 UNIT - ROOM 7 ANALYSIS)
SYMBOL **15**



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Proposed Finish &
Equipment Plan

PROPOSED FINISH & EQUIPMENT SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALL	CEILING	EQUIP.	GENERAL PRODUCT LINKS
1	Vestibule	Sherwin Williams Resufloor Aqua Deco Quartz Resin Floor "White Pepper"; ALT 1: Armstrong Flooring Hot Springs: 70003	Coved Base - same as Floor Material - 6" high	Paint existing brick Benjamin Moore: BM1457 "White Winged Dove"	24x24 Armstrong Ultima Health Zone; White 1935; 15/16 Square Lay In; NRC 0.70; Class A (UL)		https://industrial.sherwin-williams.com/na/us/en/resin-flooring/industry/animal-veterinary.html
2	Waiting	SAME AS ABOVE	SAME AS ABOVE	FRP Panel, 4x8 sheet; Marlite P 145 Silver; BM HC-78 "Litchfield Gray", BM 1621 "Little Falls"	SAME AS ABOVE	Corner guards on exterior corners; Pearl color	https://www.armstrongflooring.com/commercial/en-us/products/hom/natralis/item/70003.html
3	Scale Hallway	SAME AS ABOVE	SAME AS ABOVE	FRP, BM HC-78 "Litchfield Gray" & BM 2094-20 "Copper Mine"	SAME AS ABOVE	Corner guards on exterior corners; Pearl color	https://wallguard.com/corner-guards/cornerguards-vinyl/2325.1.html
4	Reception	SAME AS ABOVE	SAME AS ABOVE	BM HC-78 "Litchfield Gray"	SAME AS ABOVE		
5	Pay Counter	SAME AS ABOVE	SAME AS ABOVE	FRP, BM HC-78 "Litchfield Gray", BM 2094-20 "Copper Mine" & BM CSP-630 "After Midnight"	SAME AS ABOVE	Corner guards on exterior corners; Pearl color	https://www.armstrongceilings.com/commercial/en/commercial-ceilings-walls/ultima-health-zone-ceiling-tiles.html
6	Exam 1	SAME AS ABOVE	SAME AS ABOVE	FRP (2 walls & backsplash), BM 1457 "White Winged Dove" & BM 1621 "Little Falls"	SAME AS ABOVE		https://marlite.com/wall-panels/service-wall-panels/standard-frp/
7	Analysis	SAME AS ABOVE	SAME AS ABOVE	FRP backsplash, BM HC-78 "Litchfield Gray"	SAME AS ABOVE	Eye wash fixture at sink	
8	Exam 2	SAME AS ABOVE	SAME AS ABOVE	FRP (2 walls & backsplash), BM HC-78 "Litchfield Gray" & BM CSP-630 "After Midnight"	SAME AS ABOVE		
9	Hallway	SAME AS ABOVE	SAME AS ABOVE	BM 1457 "White Winged Dove"	SAME AS ABOVE		
10	Public Restroom	SAME AS ABOVE	SAME AS ABOVE	Marlite Symmetrix Subway White Panel with Black Grooves SS916-G63R	SAME AS ABOVE		https://marlite.com/wall-panels/visual-wall-panels/symmetrix/
11	Exam 3	SAME AS ABOVE	SAME AS ABOVE	FRP (2 walls), BM 1457 "White Winged Dove" & BM 2094-20 "Copper Mine"	SAME AS ABOVE		
12	Surgery	SAME AS ABOVE	SAME AS ABOVE	FRP (all walls) & BM 1457 "White Winged Dove"	SAME AS ABOVE		
13	Surgery Prep	SAME AS ABOVE	SAME AS ABOVE	BM 1457 "White Winged Dove"	SAME AS ABOVE		
14	Office	SAME AS ABOVE	SAME AS ABOVE	BM 1621 "Little Falls"	SAME AS ABOVE		
15	Hallway	SAME AS ABOVE	SAME AS ABOVE	BM HC-78 "Litchfield Gray"	SAME AS ABOVE	Corner guards on exterior corners; Pearl color	
16	X-Ray	SAME AS ABOVE	SAME AS ABOVE	BM 1457 "White Winged Dove"	SAME AS ABOVE		
17	Isolation	SAME AS ABOVE	SAME AS ABOVE	BM 1457 "White Winged Dove"	SAME AS ABOVE		
18	Ward	SAME AS ABOVE	SAME AS ABOVE	BM 1457 "White Winged Dove"	SAME AS ABOVE		
19	Open Shelving	SAME AS ABOVE	SAME AS ABOVE	FRP(all walls and backsplash) BM 1621 "Little Falls" & BM CSP-630 "After Midnight"	SAME AS ABOVE		
20	Treatment	SAME AS ABOVE	SAME AS ABOVE	BM HC-78 "Litchfield Gray"	SAME AS ABOVE		
21	Workspace	SAME AS ABOVE	SAME AS ABOVE	BM 1169 "Antique Copper"	SAME AS ABOVE		
22	Laundry	SAME AS ABOVE	SAME AS ABOVE	BM 1457 "White Winged Dove"	SAME AS ABOVE		
23	Staff Lounge	SAME AS ABOVE	SAME AS ABOVE	BM 1621 "Little Falls" & BM CSP-630 "After Midnight"	SAME AS ABOVE		
24	Staff Restroom	SAME AS ABOVE	SAME AS ABOVE	Marlite Symmetrix Subway White Panel with Black Grooves SS916-G63R	SAME AS ABOVE		
25	Garage	SAME AS ABOVE	SAME AS ABOVE	Polished CMU - Johnson Concrete Products - Mont Blanc JCL-3013	NONE		https://johnsonproductsusa.com/commercial/architects/prestige-masonry/polished/
26	Kennels	SAME AS ABOVE	SAME AS ABOVE	Polished CMU - Johnson Concrete Products - Mont Blanc JCL-3013; Paint existing brick Benjamin Moore: BM1457 "White Winged Dove"	SAME AS ABOVE		For all internal spaces with CMU walls, provide alternative price for Drylok Epoxy Waterproofing Paint.
27	Exterior Equipment	Sealed concrete	NONE	Polished CMU - Johnson Concrete Products - Mont Blanc JCL-3013	NONE		SAME AS ABOVE
28	Trash Enclosure	Sealed concrete	NONE	Polished CMU - Johnson Concrete Products - Mont Blanc JCL-3013	NONE		SAME AS ABOVE
29	Utility Enclosure	Sealed concrete	NONE	Polished CMU - Johnson Concrete Products - Mont Blanc JCL-3013	NONE		NONE
30	Compressed Gas Enclosure	Sealed concrete	NONE	Polished CMU - Johnson Concrete Products - Mont Blanc JCL-3013	NONE		SAME AS ABOVE



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Proposed Finish, Fixture
& Equipment Schedules

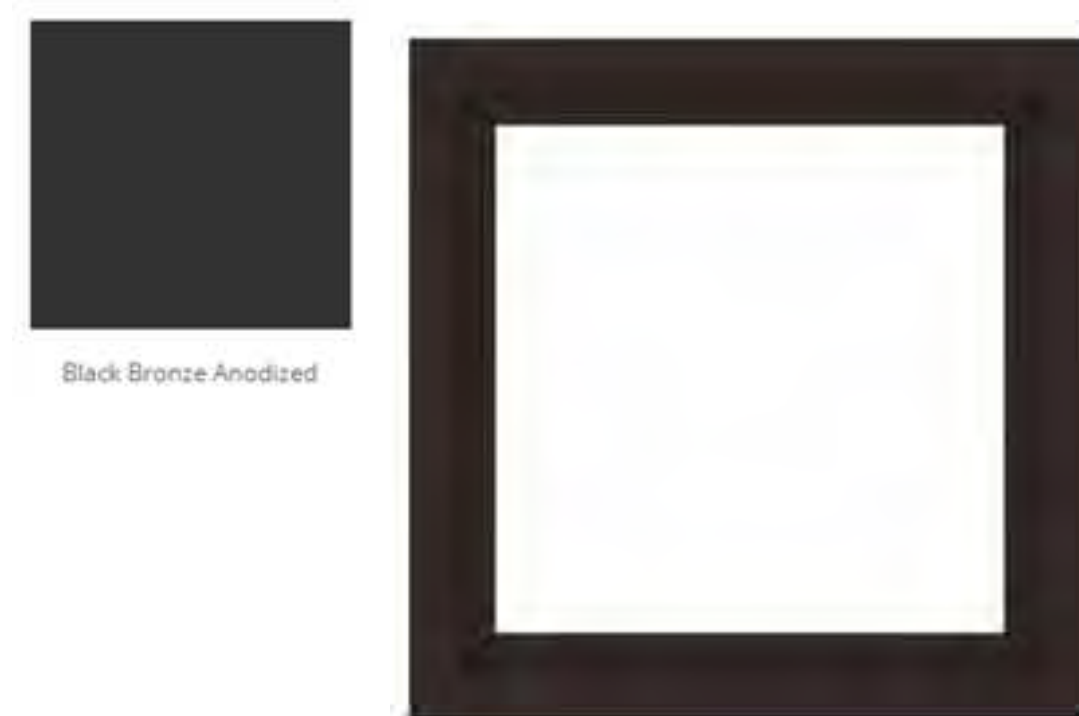
WINDOW SCHEDULE

Window	Room	Size	Type	Egress	Door & Frame Mat.	Hardware	Note
W-1	2 - Waiting	24x60 V.I.F.	Picture	No	Black Bronze Anodized	None	Existing window to be replaced. Contractor to verify size in field. Tint glass, confirm with Owner.
W-2	2 - Waiting	24x60 V.I.F.	Picture	No	Black Bronze Anodized	None	Existing window to be replaced. Contractor to verify size in field. Tint glass, confirm with Owner.
W-3	5 - Pay Counter	24x60 V.I.F.	Picture	No	Black Bronze Anodized	None	Existing window to be replaced. Contractor to verify size in field. Tint glass, confirm with Owner.
W-4	11 - Exam 3	24x60 V.I.F.	Picture	No	Black Bronze Anodized	None	Existing window to be replaced. Contractor to verify size in field. Tint glass, confirm with Owner.
W-5	11 - Exam 3	24x60 V.I.F.	Picture	No	Black Bronze Anodized	None	Existing window to be replaced. Contractor to verify size in field. Tint glass, confirm with Owner.
W-6	12 - Surgery	24x60 V.I.F.	Picture	No	Black Bronze Anodized	None	Existing window to be replaced. Contractor to verify size in field. Reflective tinted glass.
W-7	12 - Surgery	24x60 V.I.F.	Picture	No	Black Bronze Anodized	None	Existing window to be replaced. Contractor to verify size in field. Reflective tinted glass.
W-8	14 - Office	54" x 39" V.I.F.	Sliding	No	Black Bronze Anodized	Black	Existing window to be replaced. Contractor to verify size in field. Reflective tinted glass
W-9	17 - Isolation	31" x 39" V.I.F.	Picture	No	Black Bronze Anodized	None	Existing window to be replaced. Contractor to verify size in field. Reflective tinted glass
W-10	18 - Ward	17" x 39" V.I.F.	Picture	No	Black Bronze Anodized	None	Existing window to be replaced. Contractor to verify size in field. Reflective tinted glass
W-11	19 - Open Shelving	30" x 44" V.I.F.	Picture	No	Black Bronze Anodized	None	Existing window to be replaced. Contractor to verify size in field. Reflective tinted glass
W-12	6 - Exam 1	36" x 33"	Picture	No	Black Bronze Anodized	Black	Existing window to be replaced. Contractor to verify size in field.
W-13	26 - Kennels	68" x 44"	Picture	No	Black Bronze Anodized	None	Use sound reduction glazing

General Window Notes:

- Window sizes are listed width x height and reference the Anderson Aluminum Series, SmartSun with HeatLock™ Coating.
- Contractor shall coordinate and confirm window mfr. and series with Owner.
- Window sizes are approximate unit sizes and NOT rough openings. Manufacturer shall dictate required rough opening requirements after field measurement is verified by contractor.
- All existing windows shall be replaced. Verify with Mfr. if replacement windows are a better product for use due to existing masonry being retained.
- All window head heights shall be aligned at 80" AFF, typ.
- Contractor shall follow county provided information for application of window performance requirements.

WINDOW REFERENCE



EXTERIOR DOOR REFERENCE



GENERAL NOTES:

- CONTRACTOR TO VERIFY DIMENSIONS AND COORDINATE WITH PROPOSED WORK PLAN BEFORE DEMOLITION CONSTRUCTION BEGINS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY STRUCTURAL SUPPORT FOR BUILDING WHEN DEMOLISHING PARTITIONS.
- CONTRACTOR SHALL SCHEDULE AND PHASE CONSTRUCTION WORK WITH OWNER APPROVAL TO FACILITATE OCCUPIABLE, FULLY FUNCTIONING UTILITY SYSTEMS THROUGHOUT CONSTRUCTION.

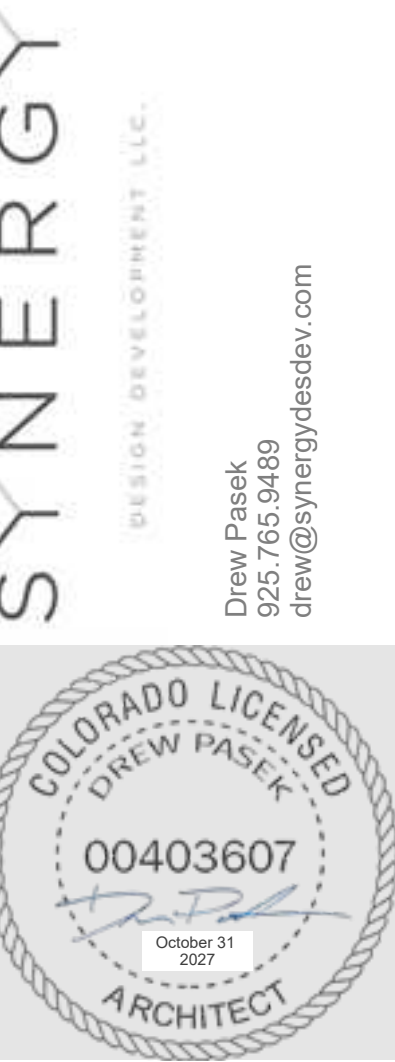
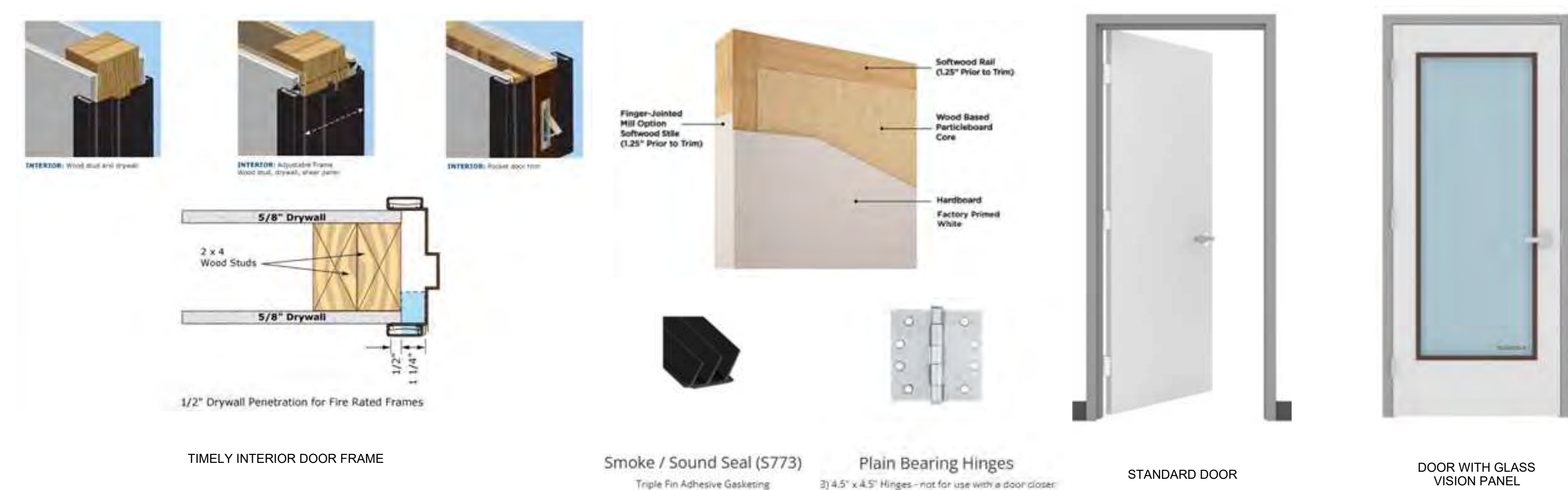
DOOR SCHEDULE

Door No.	Room	Size	Type	Door	Hardware	Note
D1A	1 - Vestibule	3'-0" x 6'-8", E.T.R.	Entry Door	Aluminum & Glass	Mortise Lock;	Provide Add Alt. Price for replacing with outswing ADA compliant steel security door with inset forced entry resistant glass vision panel to match existing.
D1B	1 - Vestibule	3'-0" x 6'-8", E.T.R.	Entry Door	Aluminum & Glass	Mortise Lock; Door Actuator	Provide Add Alt. Price for replacing with outswing ADA compliant steel security door with inset forced entry resistant glass vision panel to match existing. ADA actuator compliant - coordinate with Door D5.
D2	2 - Waiting	3'-0" x 6'-8", E.T.R.	Entry Door	Aluminum & Glass	Mortise Lock	Provide Add Alt. Price for replacing with outswing ADA compliant steel security door with inset forced entry resistant glass vision panel to match existing.
D3A	3 - Scale Hallway	3'-0" x 6'-8", E.T.R.	Exterior Metal, Insulated	Aluminum, Insulated	Mortise Lock	Provide Add Alt. Price for replacing with outswing ADA compliant door to match existing.
D3B	3 - Scale Hallway	3'-4" x 3'-4"	Half-Door	Solid Wood	Passage lever	
D3C	3 - Scale Hallway	3'-4" x 3'-4"	Half-Door	Solid Wood	Passage lever	
D5	5 - Pay Counter	3'-0" x 6'-8", E.T.R.	Entry Door	Aluminum & Glass	Mortise Lock; Door Actuator	Provide Add Alt. Price for replacing with outswing ADA compliant steel security door with inset forced entry resistant glass vision panel to match existing. ADA actuator compliant - coordinate with Door D1B.
D6A	6 - Exam 1	3'-0" x 6'-8"	Wood Slab	Solid Wood	Passage lever	Mechanically attached FRP for 1/2 of door on interior-side of door face.
D6B	6 - Exam 1	3'-0" x 6'-8"	Wood Slab	Solid Wood	Privacy lever w/ staff-side lock	Spring Loaded Hinge
D7	7 - Analysis	2'-7" x 6'-8"	Sliding Wood	Wood, Stl. Frame	Passage Cup - Soft Open/Close	Reference Cavity Sliders, Acoustic Door Slab
D8A	8 - Exam 2	3'-0" x 6'-8"	Wood Slab	Solid Wood	Passage lever	Mechanically attached FRP for 1/2 of door on interior-side of door face.
D8B	8 - Exam 2	3'-0" x 6'-8"	Wood Slab	Solid Wood	Privacy lever w/ staff-side lock	Spring Loaded Hinge
D9A	9 - Hallway	3'-0" x 6'-8"	Wood Slab	Solid Wood	Passage lever	
D9B	9 - Hallway	2'-7" x 6'-8"	Sliding Wood	Wood, Stl. Frame	Passage Cup - Soft Open/Close	Reference Cavity Sliders, Acoustic Door Slab
D10	10 - Public Restroom	3'-0" x 6'-8"	Wood Slab	Solid Wood	Privacy lever	Spring Loaded Hinge
D11	11 - Exam 3	3'-0" x 6'-8"	Wood Slab	Solid Wood	Passage lever	Mechanically attached FRP for 1/2 of door on interior-side of door face.
D12A	12 - Surgery	3'-0" x 6'-8"	Wood Slab	Solid Wood	Passage lever	
D12B	12 - Surgery	1'-10" x 2'-2"	Wood Slab	Solid Wood	Hardware Pull, one-side	Custom door for vacuum cubby
D14	14 - Office	2'-7" x 6'-8"	Sliding Wood	Wood, Stl. Frame	Privacy Latch Cup - Soft Open/Close	Reference Cavity Sliders, Acoustic Door Slab
D15	15 - Hallway	2'-10" x 6'-8"	Wood Slab	Solid Wood	Privacy lever w/ staff-side lock	Spring Loaded Hinge
D17	17 - Isolation	3'-0" x 6'-8"	Wood	Solid Wood, Glass	Passage lever	Full-glass panel (insulated) for visual monitoring, gasket for sound attenuation
D18	18 - Ward	3'-0" x 6'-8"	Wood	Solid Wood, Glass	Passage lever	Full-glass panel (insulated) for visual monitoring, gasket for sound attenuation
D19	19 - Open Shelving	3'-0" x 6'-8"	Exterior Metal, Insulated	Metal	Privacy Lever & Mortise Lock	
D20	20 - Treatment	1'-10" x 2'-2"	Wood Slab	Solid Wood	Hardware Pull, one-side	Custom door for vacuum cubby
D22	22 - Laundry	3'-0" x 6'-8"	Wood Slab	Solid Wood	Passage lever	
D23	23 - Staff Lounge	3'-0" x 6'-8", E.T.R.	Exterior Metal, Insulated, 45-min Rating	Aluminum, Insulated	Privacy Lever, Mortise Lock, Spring Loaded Hinge	E.T.R., Paint; Provide Add Alt. price for replacing door and reversing swing. 1-hr rated partition.
D24	24 - Staff Restroom	3'-0" x 6'-8"	Wood Slab (insulated for sound)	Solid Wood	Privacy Lever & Spring Loaded Hinge	
D25A	25 - Garage	19'-6" x 7'-6"	Insulated fiberglass panel	Wood	Garage Door Hardware	WiFi enabled, integrated with security system; Provide Add Alt. price for 18'x7'-6" door.
D25B	25 - Garage	3'-0" x 6'-8"	Exterior Metal, Insulated, 45-min Rating	Aluminum, Insulated	Privacy Lever & Mortise Lock	1-hr rated partition.
D25C	25 - Garage	3'-0" x 6'-8"	Exterior Metal, Insulated, 45-min Rating	Aluminum, Insulated	Privacy Lever, Mortise Lock & Spring Loaded Hinge	Keyed Lock, both sides. 1-hr rated partition. Provide unique keying for this door with same keying for D27.
D26A	26 - Kennels	3'-0" x 6'-8"	Exterior Metal, Insulated	Aluminum, Insulated	Privacy Lever & Mortise Lock	
D26B	26 - Kennels	3'-0" x 6'-8"	Wood	Solid Wood, Full Glass	Passage lever	Full-glass panel (insulated) for visual monitoring, gasket for sound attenuation
D27	27 - Exterior Storage	5'-0" x 6'-8"	Unequal Dbl. leaf Exterior Metal, Insulated Door	Stl.	Privacy Lever & Mortise Lock	Provide unique keying for this door with same keying for D25C.
D28	28 - Trash Enclosure	Left Leaf 3'-0" x 7'-0" Right Leaf 2'-0" x 7'-0"	Unequal Dbl. Leaf	Stl.	Garage Door Hardware	Exterior Padlock
D29	29 - Comp. Gas Enclosure	4'-6" x 6'-8"	Dbl. Steel Security Door	Stl. 18"x12" louver in left door 10" above sill	Dead Leaver & Mortise Lock; Locking Bolt for opposite leaf	Contractor to provide vent in door (one leaf) and above door per Mech. drawings. Provide unique keying for this door.

General Door Notes:

- Door sizes are listed width x height. Contractor shall verify all existing door sizes that shall remain.
- Door sizes are unit sizes and NOT rough openings. Contractor shall determine exact RO required for door and frame.
- Interior door hardware shall use Aged Bronze for all hardware finish selections. Contractor shall confirm selections with Owner.
- Reference Trudor for interior door selections and Schlage Elan Lever Series for all applicable door hardware.
- Reference Timely Steel Door Frames (Black SC103) for all interior door frames.
- Doors K1, K2, K3, & K4: Kennel fence gate with lockable latch. Note that existing chain-link fence "top" to be reused over one new kennel (southernmost).
- Provide mechanically attached FRP panel to interior side of all Exam Room doors, from bottom of door to bottom of lever escutcheon plate.

INTERIOR DOOR REFERENCE



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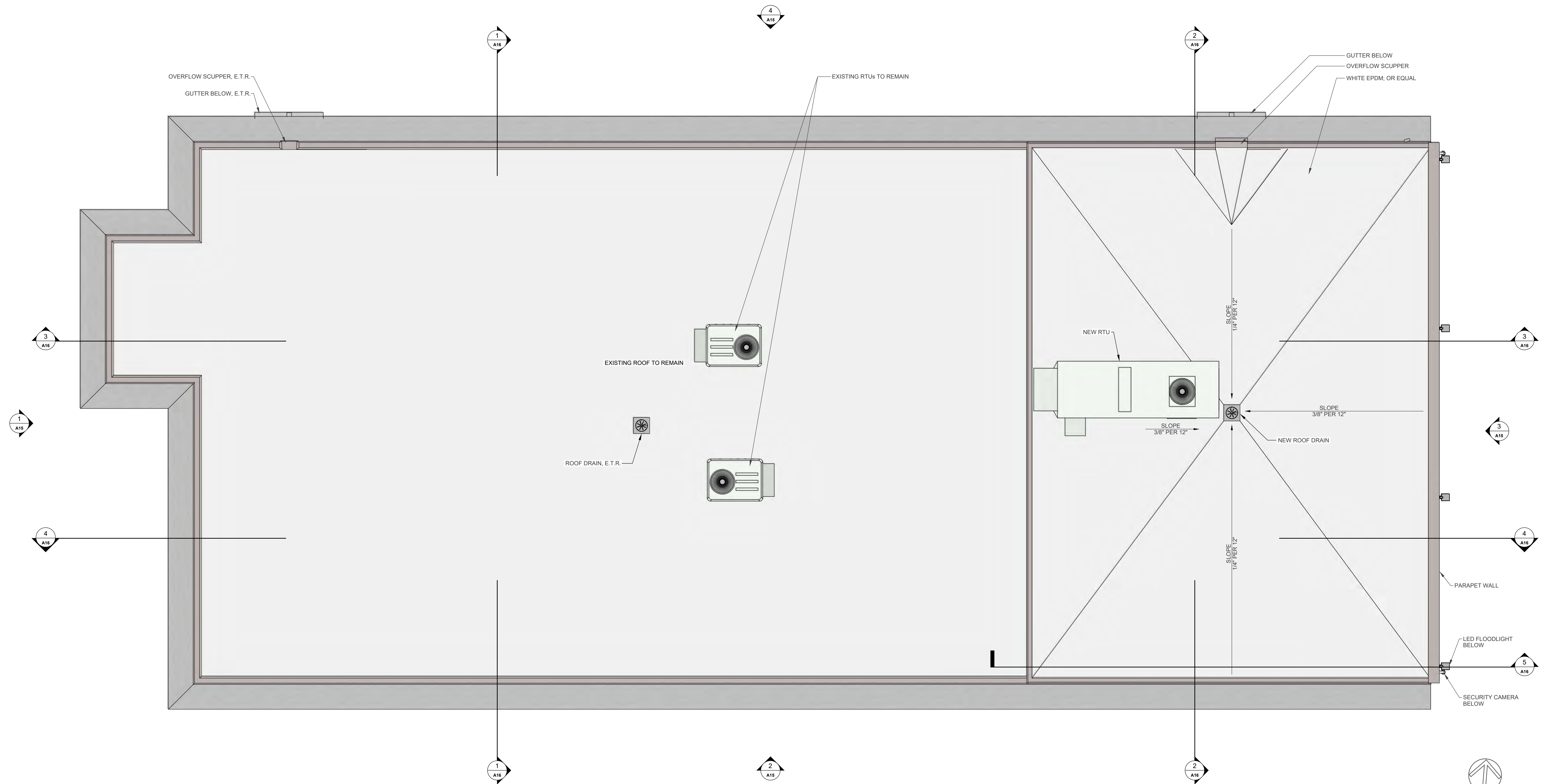
Proposed Door &
Window Schedule

ATTIC VENTILATION CALCULATIONS

PROVIDE CONTINUOUS SOFFIT STRIP VENTING INTO MANSARD ROOF SPACES

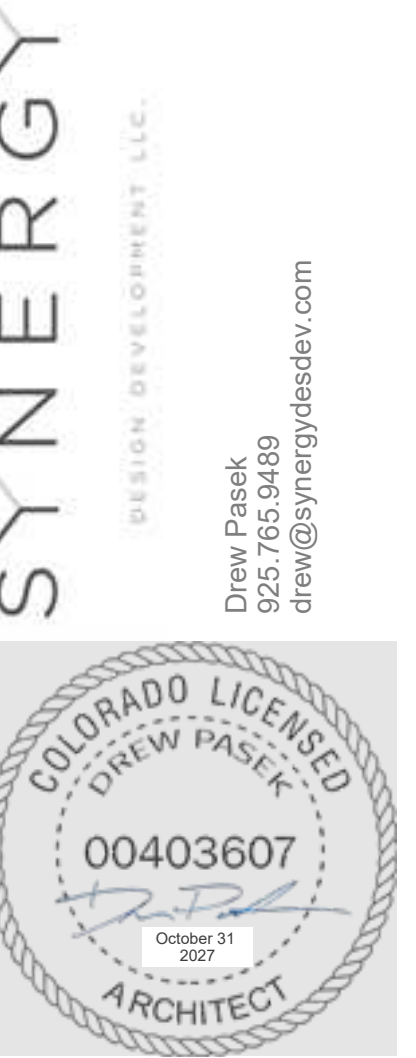
ROOF PLAN GENERAL NOTES

1. VERIFY ALL ROOF SLOPES, TRANSITIONS, PENETRATIONS AND COORDINATE LAYOUT WITH ROOFING MFR.
2. WHITE EPDM ROOF OVER SLOPED INSULATION PER MFR.
3. ALL ROOF SHALL BE CONSTRUCTED OVER 5/8" OSB SHEATHING (SEE SPECS FOR SPAN SIZE AND ADDITIONAL SHEATHING REQUIREMENTS). FLASHING REQUIRED @ SIDEWALLS AND ALL VALLEYS, ALONG EACH SIDE PER CODE. THIS SHALL BE DONE IN ADDITION TO UNDERLAYMENT (FELT) OTHERWISE REQUIRED. USE HIGH TEMP RATED MATERIAL BENEATH ALL ROOFING SYSTEMS. USE SINGLE MANUFACTURER FOR ALL RELATED MATERIALS TO ENSURE COMPATIBILITY WITH NEW AND EXISTING MATERIALS. PROTECT EXPOSED MATERIALS AFTER INSTALLATION SHOULD THEY BE EXPOSED LONGER THAN ALLOWED BY THE MANUFACTURER.
4. NEW GUTTER AND DOWNSPOUT TO MATCH EXISTING. TO BE VERIFIED BY OWNER AND ARCHITECT. MATERIAL SHALL BE GSM, TYP.
5. ALL VALLEY FLASHING SHALL BE A MINIMUM 26 GA CORROSION RESISTANT MATERIAL (GSM) LAID OVER A MINIMUM 36" WIDE 72# CAP SHEET. THIS IS IN ADDITION TO ANY OTHER SPECIFIED UNDERLAYMENT
6. ALL ROOFING AND FLASHING MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH IBC CHAPTER 15 AND STANDARDS ESTABLISHED BY THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NCR) UNLESS PROVISIONS WITHIN THESE DOCUMENTS ARE SPECIFIED EXCEEDING THOSE REQUIREMENTS. UTILIZE SINGLE MANUFACTURER FOR ALL COMPONENTS OF EACH ROOFING SYSTEM TYPE INSTALLED.
7. WALL CONDITIONS SHALL BE MODIFIED TO INCORPORATE PROPER FLASHING, DEFLECTION CRICKETS AND WEeping ABILITIES WHERE ROOF MEETS WALL FACE.
8. USE SINGLE MANUFACTURER FOR ALL RELATED MATERIALS TO ENSURE COMPATIBILITY. PROTECT EXPOSED MATERIALS AFTER INSTALLATION IF THEY SHOULD THEY BE EXPOSED LONGER THAN ALLOWED BY THE MANUFACTURER.
9. EPDM ROOF MEMBRANE ON SLOPED RIGID INSULATION, PER MFR.



1 PROPOSED FLOOR PLAN
A14 SCALE: 1/4" = 1'-0"

0 5' 10'
SCALE: 1/4" = 1'-0"



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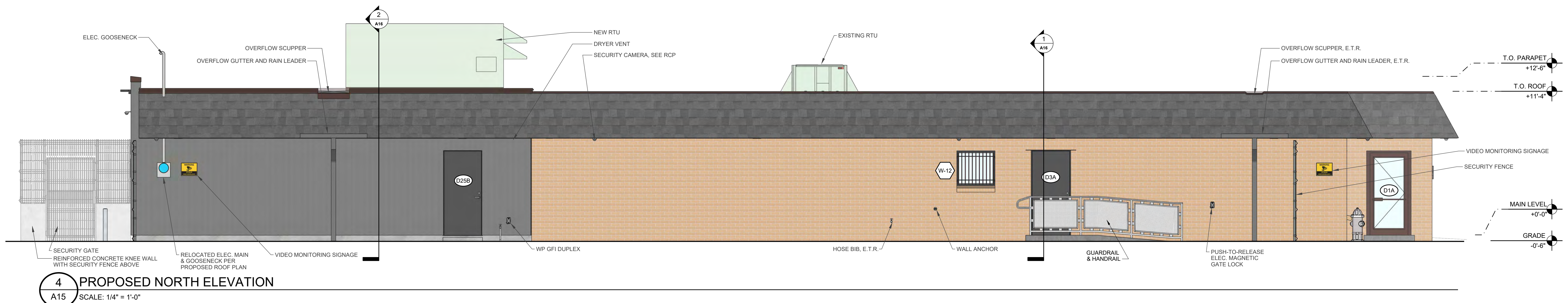
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Proposed Roof Plan

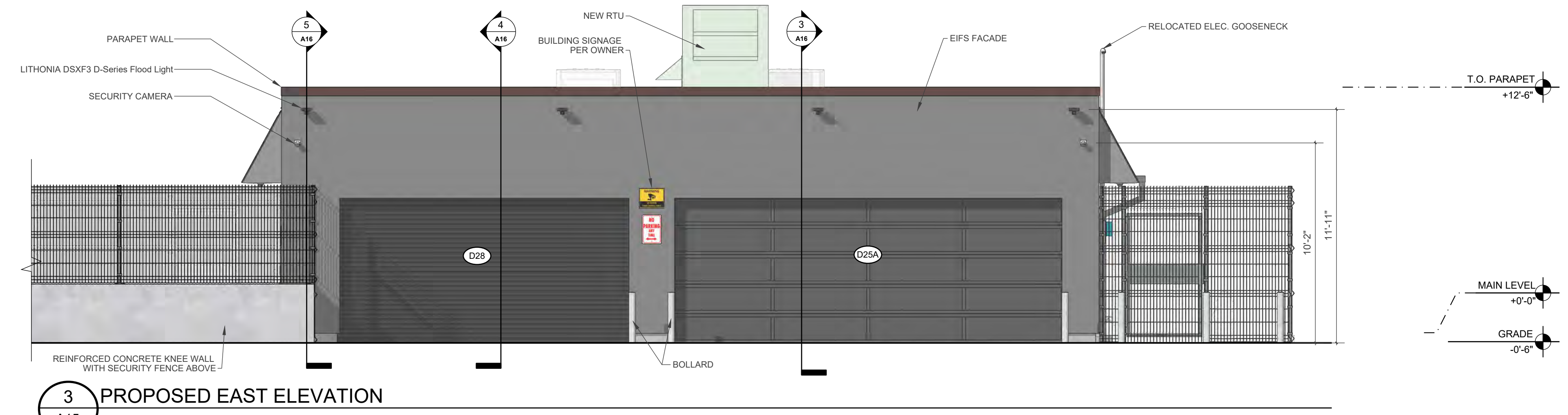
A14



4 PROPOSED NORTH ELEVATION
A15 SCALE: 1/4" = 1'-0"

ELEVATION GENERAL NOTES

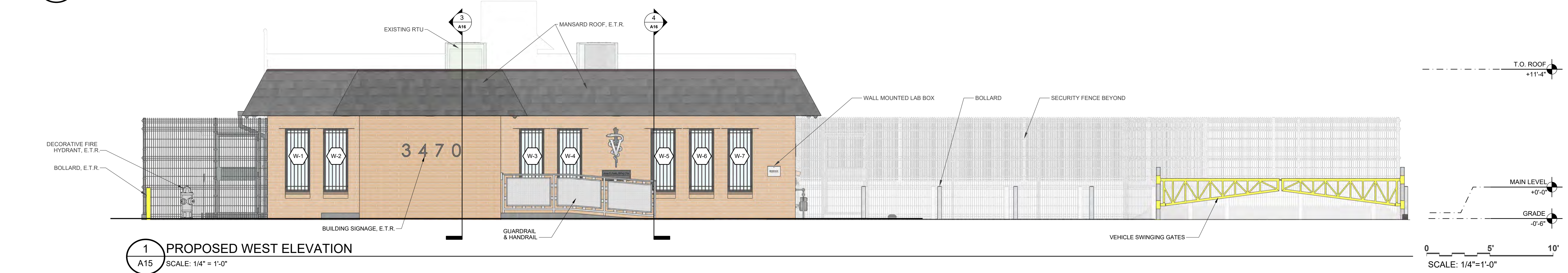
1. SLOPE GRADE A MINIMUM OF 2% AWAY FROM THE BUILDING FOR A MINIMUM DISTANCE OF 5'-0"
2. PAINT ALL EXPOSED VENTS ON ROOF NEAR PERIMETER CONDITIONS TO MATCH ROOF SHINGLE COLOR.
3. PAINT ALL EXPOSED WALL VENTS TO MATCH SURROUNDING WALL COLOR - DO NOT PAINT OVER SCREEN FOR VENTING.
4. REFER TO ELEC. SHEETS FOR EXTERIOR LIGHTING AND EQUIPMENT.
5. ALL EXTERIOR GLAZING SHALL BE INSULATED (LOW-E), TEMPERED, AND UV BLOCKING (NO UV BLOCKING FOR NORTH WINDOW).
6. ALL WALL VENTS SHALL BE PROTECTED BY CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/8" MAXIMUM OPENINGS.
7. PROVIDE EXPANSION CONTROL JOINT BETWEEN ALL EIFS AND BRICK CONNECTIONS PER EIFS MANUFACTURER, TYP.
8. COORDINATE ALL EXTERIOR SIGNAGE WITH ARCHITECT AND OWNER.
9. ALL EXPOSED MECHANICAL AND PLUMBING VENTING LOCATIONS TO BE APPROVED WITH & BY ARCHITECT REVIEW PRIOR TO INSTALLATION AND PAINTED A COLOR THAT COMPLEMENTS THE SURROUNDING ROOFING MATERIAL.
10. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.



3 PROPOSED EAST ELEVATION
A15 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
A15 SCALE: 1/4" = 1'-0"



1 PROPOSED WEST ELEVATION
A15 SCALE: 1/4" = 1'-0"

SYNERGY
DESIGN DEVELOPMENT LLC.
Drew Pasek
925.765.9489
drew@synergydesdev.com

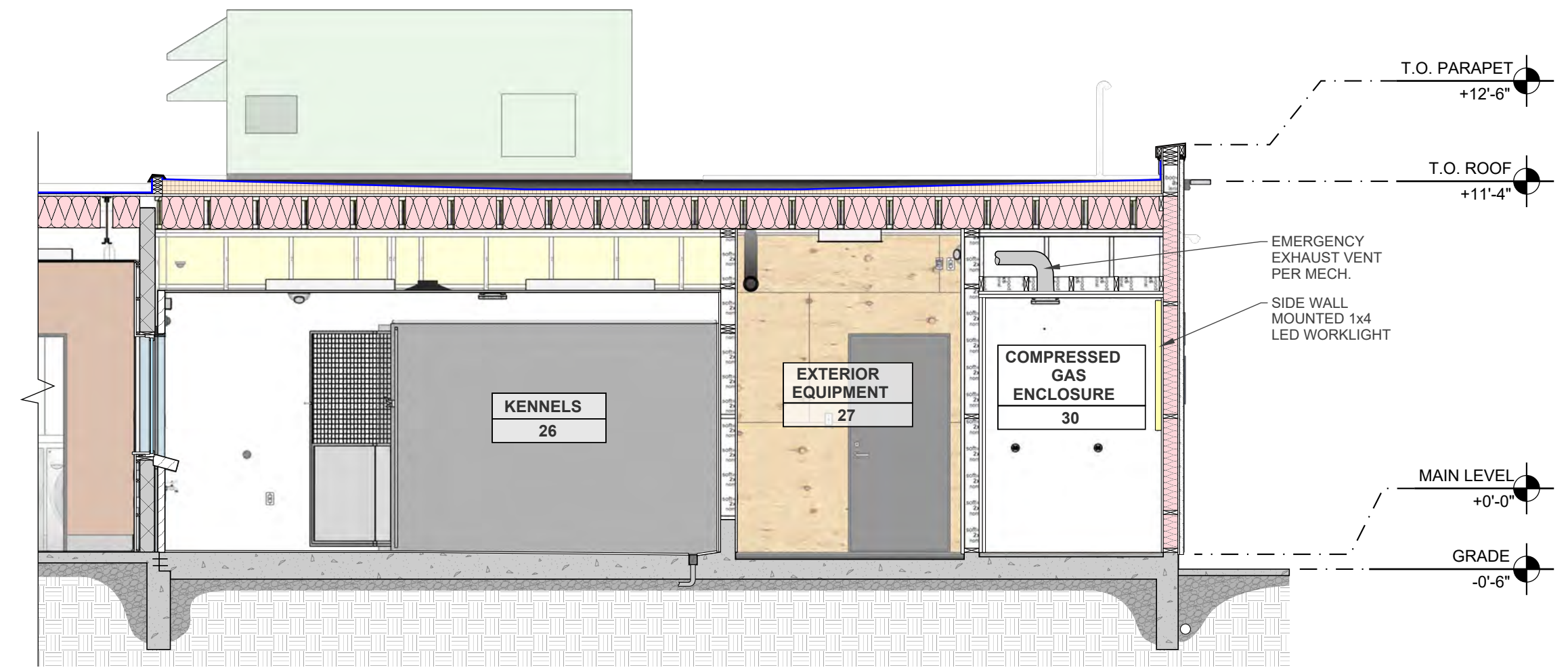
COLORADO LICENSED
DREW PASEK
00403607
ARCHITECT

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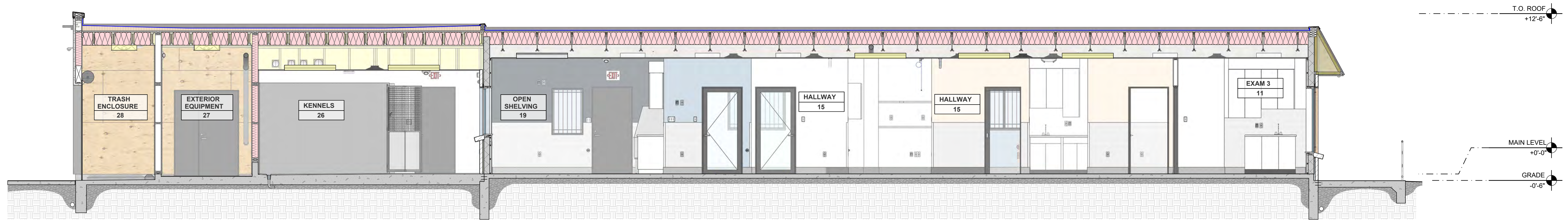
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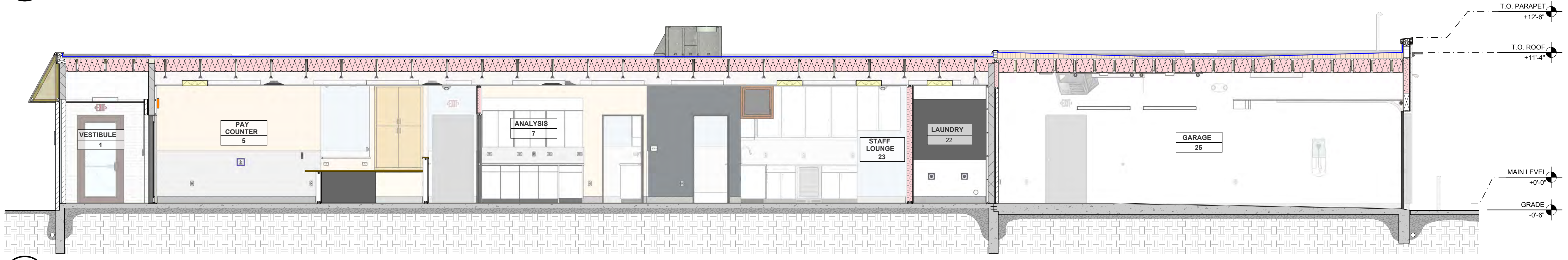
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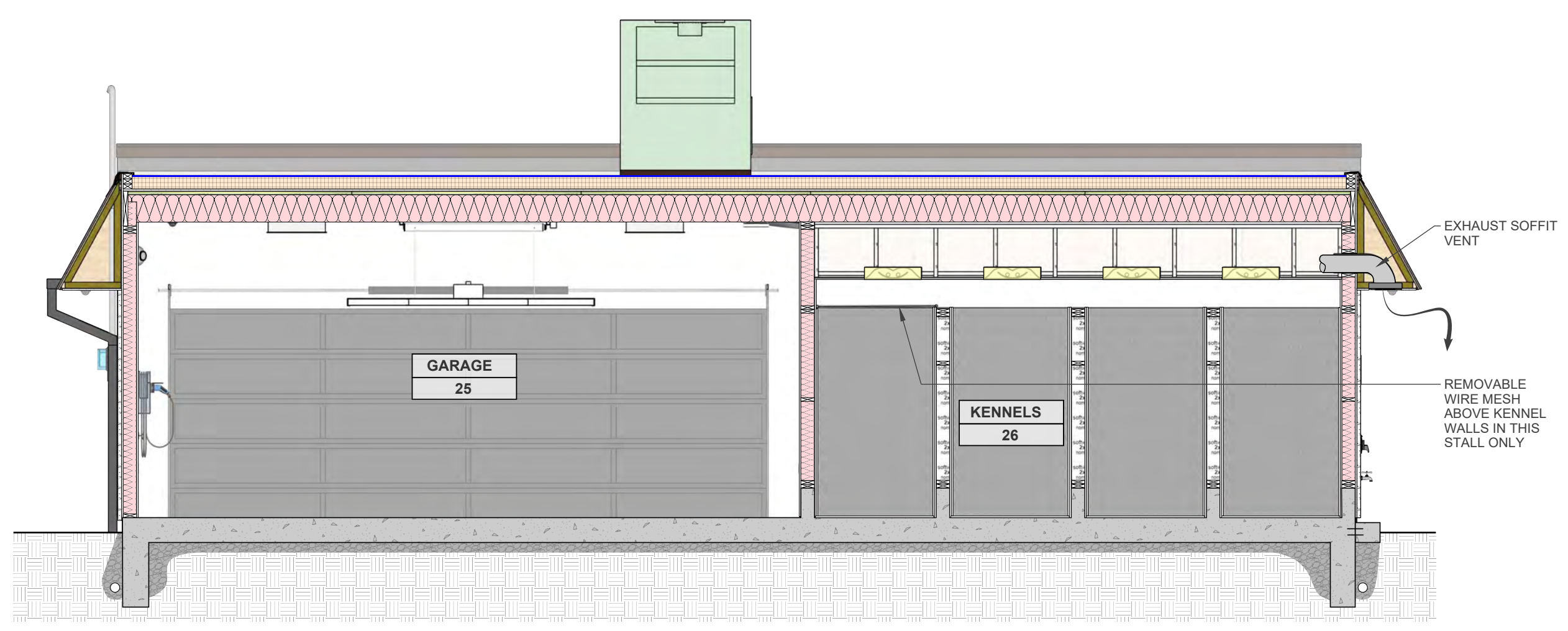
5 PROPOSED PARTIAL SECTION (WEST-EAST)
A16 SCALE: 1/4" = 1'-0"



4 PROPOSED SECTION (EAST-WEST)
A16 SCALE: 1/4" = 1'-0"



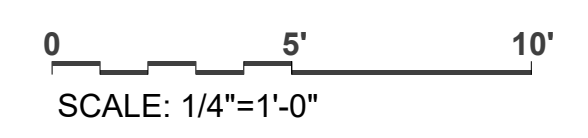
3 PROPOSED SECTION (WEST-EAST)
A16 SCALE: 1/4" = 1'-0"



2 PROPOSED SECTION (NORTH-SOUTH)
A16 SCALE: 1/4" = 1'-0"



1 PROPOSED SECTION (NORTH-SOUTH)
A16 SCALE: 1/4" = 1'-0"





Northwestern Proposed View



Northwestern Existing View



Southwest Proposed View



Southwest Existing View



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Context and Rendered
Overlay Images



Southeastern Proposed View



Southeastern Existing View



Eastern Proposed View



Eastern Existing View



Northeastern Proposed View



Northeastern Existing View



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Context and Rendered
Overlay Images



Fire Hydrant Curb



Front South Entry and Facade - Day



Front North Entry and Facade - Day



Aerial View



Front South Entry Ramp



South Yard Egress Gate



Compressed Gas Enclosure



South Facade East Gate, Compressed Gas Enclosure, and Exterior Equipment Roll-Up Door



North Yard Addition



North Egress Ramp at Existing Building



Back Garage Entry and North Facade - Day



Trash Enclosure and Garage



Motion Analysis Yard



Comfort Walkway



Euthanasia Nature Comfort Corner



Fence Southeast Corner

