

LEGAL DESCRIPTION:

ALL OF COPPERLEAF FILING NO. 22, RECORDED AT FN **D9099204**,
COUNTY OF ARAPAHOE, STATE OF COLORADO, LOCATED IN THE NORTH HALF OF SECTION
11, TOWNSHIP 5 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF
ARAPAHOE, STATE OF COLORADO

SAID PARCEL CONTAINS AN AREA OF 792.009 SQUARE FEET OR 18.182 ACRES MORE OR
LESS

	COPPERLEAF PDP AMENDMENT NO. 7 (Q18-058)	PROPOSED FDP FOR FRONT LOADED SFR	PROPOSED FDP FOR ALLEY LOADED SFR
LOT SIZE (MIN)	1,200 SF	3,600 SF	1,700 SF
LOT COVERAGE (MAX)	N/A	N/A	N/A
LOT FRONTAGE (MIN)	20'	30'	31'
LOT FRONTAGE (CORNER)	30'	30'	35'
MAXIMUM HEIGHT ALLOWED	50'	50'	50'
OPEN SPACE (UNOBSTRUCTED)	20%	20%	20%
MINIMUM SETBACK			
FRONT SETBACK TO LIVING SPACE	15'	15'	6'
FRONT SETBACK TO COVERED PORCH	10'	10'	N/A
FRONT SETBACK TO GARAGE	18'	18'	N/A
FRONT SETBACK TO SIDE LOADED GARAGE	10'	10'	N/A
SIDE SETBACK	3'	5'	3'
SIDE SETBACK TO EASEMENT	0'	0'	0'
SIDE SETBACK CORNER	15'	15'	3'
REAR SETBACK (FRONT LOADED)	10'	10'	N/A
REAR SETBACK (REAR LOADED)	4'	N/A	4'
MAXIMUM DENSITY	12.6	12.6	12.6
PARKING REQUIREMENT RESIDENT	2	2	2
PARKING REQUIREMENT TO GUEST	0*	0*	0*

* PER ARAPAHOE COUNTY LAND DEVELOPMENT CODE SECTION 12-1208

NOTES:

- LOT COVERAGE IS THAT PORTION OF THE GROUND ON ANY BUILDING SITE WHICH IS COVERED BY STRUCTURES HAVING A FLOOR, WALLS, AND FULLY ENCLOSED ROOF. LOT COVERAGE DOES NOT INCLUDE DRIVEWAYS, SIDEWALKS, PORCHES OR STOPS, OPEN DECKS OR PATIO DECKS, TENNIS COURTS, FRONT AND SIDE PORCHES, UNDERGROUND OR PARTIALLY UNDERGROUND PARKING AREAS IF SUCH PARTIALLY UNDERGROUND PARKING AREAS DO NOT PROTRUDE MORE THAN SIX FEET (6') FROM THE AVERAGE SURROUNDING GRADE, ROADWAYS, BIKE PATHS OR PEDESTRIAN WAYS, OR SUCH OTHER USES NOT MEETING THE DEFINITION ABOVE.
- MIN. LOT SIZE SHOWN FOR SINGLE FAMILY DETACHED, TOWNHOMES AND DUPLEXES ALLOWED AT SAME MIN. LOT SIZES WHEN ALLOWED WITHIN THE UNDERLYING RESIDENTIAL CATEGORY.
- ARCHITECTURAL ELEMENTS SUCH AS ROOF OVERHANGS, FIREPLACES AND BAY OR BOX WINDOWS ARE PERMITTED A 24-INCH ENCRoACHMENT INTO BUILDING SEPARATIONS NO PORTION OF THE STRUCTURE ABOVE GROUND MAY ENCRoACH INTO THE THREE-FOOT BUILDING OR PROPERTY LINE SETBACK WITHOUT MODIFICATION AND BUILDING DEPARTMENT REVIEW AND APPROVAL. OTHER SUB-SURFACE ARCHITECTURAL ELEMENTS INCLUDING STRUCTURAL ELEMENTS OF THE BUILDING FOUNDATION SUCH AS COUNTERTERRACES MAY ENCRoACH INTO BUILDING SEPARATIONS OR SETBACKS PROVIDED THAT SUCH ELEMENTS REMAIN ENTIRELY WITHIN THE LOT UPON WHICH THEY ORIGINATED. FOUNDATION WALLS ARE NOT PERMITTED WITHIN ANY SETBACKS. UN-ENCLOSED DECKS MAY ENCRoACH INTO REAR SETBACKS BUT SHALL BE LOCATED NO CLOSER THAN 10' (TEN FEET) FROM THE REAR PROPERTY LINE BUT SHALL NOT ENCRoACH INTO A UTILITY EASEMENT. DECKS SHALL NOT ENCRoACH INTO SIDE SETBACKS.
- LOT FRONTAGE MEASURED AT SETBACK
- A ZERO LOT LINE MAY BE UTILIZED WHEN A MAINTENANCE EASEMENT AND SIDE YARD EASEMENT ARE EXECUTED SUBJECT TO L.B.C. REQUIREMENTS
- LOT FRONTAGE ON A CUL-DE-SAC MAY BE REDUCED BY FIVE FEET AT FRONT SETBACK
- AN ACCESSORY USE SHALL NOT INCLUDE A LIVING SPACE ABOVE THE GARAGE WHICH HAS A SEPARATE INTERNAL OR EXTERNAL ENTRANCE. THIS LIVING SPACE AREA SHALL BE DEEMED PART OF THE PRIMARY STRUCTURE. SHALL FOLLOW THE PRIMARY USE HEIGHT RESTRICTIONS AS WELL AS REQUIRE ONE ADDITIONAL, OFF-STREET PARKING SPACE.
- SETBACKS ARE MEASURED FROM THE R.O.W. UNLESS OTHERWISE SPECIFIED. IN CASE OF PRIVATE DRIVES SETBACKS ARE MEASURED FROM THE ROADWAY TRACT OR EASEMENT.
- IF ADJACENT TO A LANDSCAPE TRACT OF NO LESS THAN TEN FEET (10') THEN THE SETBACK MAY BE REDUCED TO FIVE FEET (5'). OTHERWISE STANDARD LOT FRONTAGE AND SIDE SETBACKS WILL APPLY.
- THE HEIGHT OF A BUILDING SHALL BE MEASURED AS THE VERTICAL DISTANCE FROM THE TOP OF THE FINISHED FLOOR ELEVATION OF THE FIRST FLOOR TO THE TOP OF THE ROOF RIDGELINE OR TOP OF PARAPET. THIS INCLUDES WALK-OUT, STEPPED, OR TERRACED BUILDINGS, CHIMNEYS, VENTILATORS, ELEVATOR HOUSINGS, SKYLIGHTS, SOLAR COLLECTORS, AIR CONDITIONING AND HEATING UNITS, ANTENNAS AND NECESSARY MECHANICAL APPURTENANCES USUALLY CONSTRUCTED ABOVE ROOF LEVEL ARE NOT TO BE CONSIDERED IN DETERMINING BUILDING HEIGHT.
- ANY LAND USE OF A LOWER DENSITY MAY BE DEVELOPED WITHIN A HIGHER DENSITY PARCEL AS LONG AS IT FOLLOWS THE STANDARDS OF THE LOWER DENSITY LISTED IN THE CHARTS
- 20% OPEN SPACE IS REQUIRED UNLESS SFD RESIDENTIAL PRODUCT IS PROPOSED, THEN OPEN SPACE WILL BE ACCOMMODATED THROUGH H.O.A. CONTROLLED PARKS AND OPEN SPACE AS SHOWN.
- THE DENSITIES SHOWN FOR EACH PARCEL ON THE PDP INDICATE OVERALL GROSS DENSITY FOR THAT PARCEL. ANY PORTION OF THAT PARCEL MAY EXCEED THE OVERALL GROSS DENSITY INDICATED.
- STRUCTURES LOCATED ON THE SOUTH SIDE OF THE STREETS SHALL BE LOCATED IN SUCH A MANNER TO ALLOW NECESSARY SNOW AND ICE MELT TO OCCUR ALONG THE ADJACENT STREET AND SIDEWALK. ADDITIONAL FRONT SETBACK DISTANCES MAY BE NECESSARY, DEPENDING ON STRUCTURE HEIGHT.
- ALL PARKING REQUIREMENTS WILL FOLLOW ARAPAHOE COUNTY CODE SECTION 14-600, AS IN EFFECT ON MARCH 29, 2004.
- OPEN SPACE (UNOBSTRUCTED) SHALL BE 10% OF GROSS PARCEL ACREAGE. THIS PERCENTAGE IS OVER AND ABOVE IN SD-15-17 PARCELS THAT ARE OPEN SPACE BUFFERS TO E-470.

SITE COVERAGES

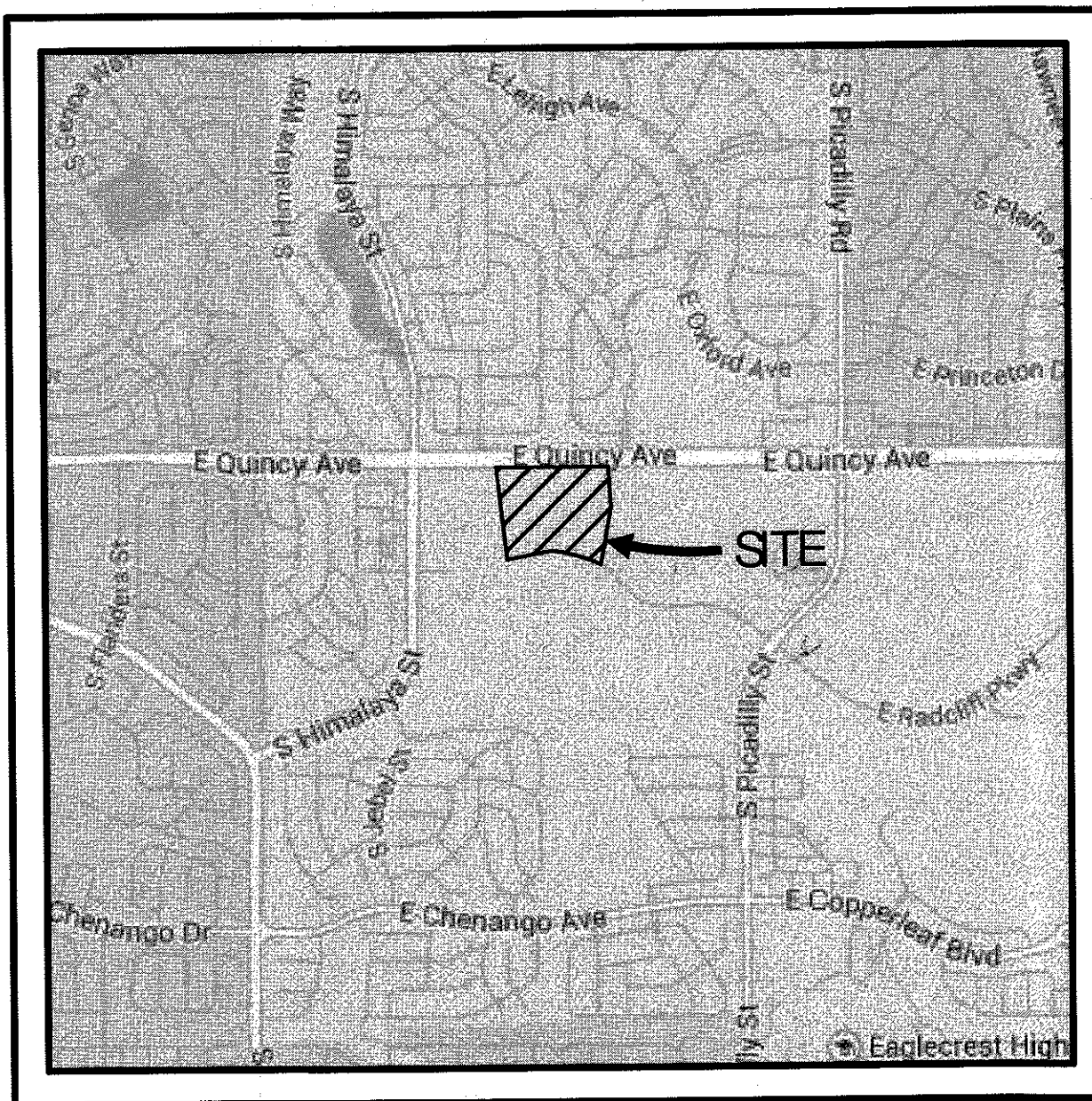
	ACREAGE	% TOTAL
PUBLIC RIGHT-OF-WAY	4.04	22%
NET RESIDENTIAL LOTS AREA	9.93	55%
AREA OF TRACTS	4.21	23%
TOTAL SITE	18.18	100%

	ACREAGE	SF
GROSS SITE AREA	18.18	792,009
LAND TO BE DEDICATED	4.21	183,417
NET SITE AREA	13.97	608,592

COPPERLEAF FILING NO. 22
FINAL DEVELOPMENT PLAN

ALL OF COPPERLEAF FILING NO. 22, COUNTY OF ARAPAHOE, STATE OF COLORADO.
LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 65 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
SHEET 1 OF 15

Vicinity Map



SCALE: 1" = 2000'

TRACT DESIGNATION TABLE FOR OPEN SPACE					
TRACT	AREA (SF)	AREA (AC)	USE	FUTURE OWNER	FUTURE MAINTENANCE
J-1	85,561	1.96	L.S., P.U.E., O.S., D.E., U.E.	HOA	HOA
J-2	23,497	0.54	L.S., P.U.E., O.S., U.E.	HOA	HOA
J-3	9,455	0.22	L.S., P.U.E., O.S., U.E.	HOA	HOA
J-4	2,704	0.06	P.A., U.E., D.E.	HOA	HOA
J-5	2,704	0.06	P.A., U.E., D.E.	HOA	HOA
J-6	2,704	0.06	P.A., U.E., D.E.	HOA	HOA
J-7	2,704	0.06	P.A., U.E., D.E.	HOA	HOA
J-8	2,704	0.06	P.A., U.E., D.E.	HOA	HOA
J-9	15,561	0.36	P.A., U.E., D.E.	HOA	HOA
J-10	1,640	0.04	P.A., U.E., D.E.	HOA	HOA
J-11	871	0.02	L.S., O.S.	HOA	HOA
J-12	513	0.01	L.S., O.S.	HOA	HOA
J-13	1,540	0.04	L.S., O.S., U.E., P.U.E., D.E.	HOA	HOA
J-14	579	0.01	L.S., O.S.	HOA	HOA
J-15	579	0.01	L.S., O.S.	HOA	HOA
J-16	25,286	0.58	D.E.	HOA	HOA
J-17	4,815	0.11	L.S., O.S., U.E., P.U.E.	HOA	HOA

Sheet List Table

Sheet Number	Sheet Title
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13	Design Standards
14	Architecture
15	Architecture

PLANNING COMMISSION RECOMMENDATION

NOT RECOMMENDED (RECOMMENDED) BY THE ARAPAHOE COUNTY PLANNING COMMISSION,
THIS 10TH DAY OF JULY, A.D. 2019.

CHAIR:

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ARAPAHOE COUNTY BOARD OF COUNTY COMMISSIONERS THIS 30TH DAY OF
JULY, A.D. 2019.

CHAIR:

ATTEST: *Julie L. Mankie, Deputy Clerk - Recorder*

CERTIFICATE OF OWNERSHIP

Richard A. Frank HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL
INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS
COPPERLEAF FILING NO. 22, CASE NUMBER FDP19-001.

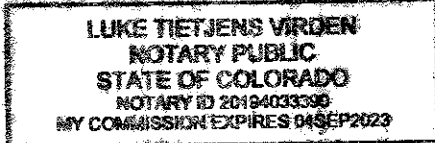
BY *Richard A. Frank*
RICHARD A. FRANK, VICE PRESIDENT
OWNER OF RECORD OR AUTHORIZED AGENT

STATE OF COLORADO
COUNTY OF DENVER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12 DAY OF SEPTEMBER
2019, BY RICHARD A. FRANK AS V.P. OF SOUTH QUINCY RESIDENTIAL DEVELOPERS, INC., AN AUTHORIZED SIGNATORY

BY LUKE T. VIRDEN WITNESS MY HAND AND SEAL
NOTARY PUBLIC
MY COMMISSION EXPIRES 04 SEP 2023

20194033390
NOTARY ID NUMBER



CERTIFICATE OF OWNERSHIP

Harvey B. Albert HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL
INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS
COPPERLEAF FILING NO. 22, CASE NUMBER FDP19-001.

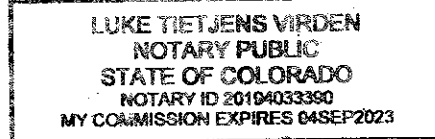
BY *Harvey B. Albert*
HARVEY B. ALBERT, PRESIDENT
OWNER OF RECORD OR AUTHORIZED AGENT

STATE OF CO
COUNTY OF DENVER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12 DAY OF SEP
2019, BY Harvey B. Albert AS PRESIDENT OF SOUTH QUINCY RESIDENTIAL DEVELOPERS, INC., AN AUTHORIZED SIGNATORY

BY LUKE T. VIRDEN WITNESS MY HAND AND SEAL
NOTARY PUBLIC
MY COMMISSION EXPIRES 04 SEP 2023

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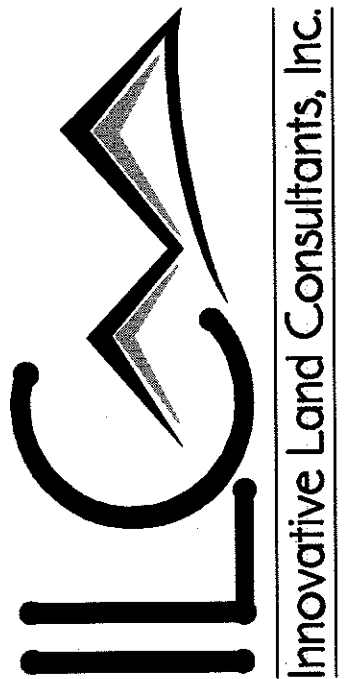
PROJECT CONTROL

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST
QUARTER OF SECTION 11, TOWNSHIP 5, SOUTH, RANGE 66 WEST OF THE
SIXTH PRINCIPAL MERIDIAN WHICH WAS DETERMINED TO BEAR NORTH
84°40'09" EAST BY GPS OBSERVATION.

BENCHMARK:

CITY OF AURORA BENCHMARK 536610NE002 (AKA RV-105) BEING A
CHISELED TRIANGLE SET ON THE WESTERLY CONCRETE BASE OF A HIGH
TENSION POWER LINE TOWER 170 ± FEET NORTH OF THE INTERSECTION
OF SOUTH RESERVOIR ROAD AND SOUTH HIMALAYA STREET,
NGVD29 ELEVATION = 5802.32' NAVD88 ELEV = 5805.37'



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bancroft Street
Denver, Colorado 80204
P 303.862.1166
F 303.862.1166
www.norris-design.com

Copperleaf Filing No. 22

Arapahoe County

Final Development Plan

Cover Sheet

Project Name:

Date:

September 12, 2019

Job No.:

1008-15

Approved By:

TRH

Designed By:

XWL

Horiz. Scale:

N/A

Sheet:

1 of 15

Client:

South Quincy Residential
Developers, Inc.

Address:

7400 E. Orchard Rd.
Greenwood Village, CO 80111

Contact:

Daniel Frank
303.573.0066

Sheet:

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COPPERLEAF FILING NO. 22

FINAL DEVELOPMENT PLAN

ALL OF COPPERLEAF FILING NO. 22, COUNTY OF ARAPAHOE, STATE OF COLORADO.
LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 65 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
SHEET 2 OF 15

STANDARD NOTES:

THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS OF THE FINAL DEVELOPMENT PLAN KNOWN AS COPPERLEAF FILING NO. 21, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAT/PLAN WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

EMERGENCY ACCESS NOTE

EMERGENCY ACCESS IS GRANTED HERewith OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE

THE OWNERS OF THIS PLAN, OR PLAT, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNERS, HOMEOWNERS ASSOCIATION, OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS, AND EASEMENTS, I.E.: CROSS ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

PRIVATE STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAT/PLAN ARE NOT IN CONFORMANCE WITH ARAPAHOE COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE LIABILITY

IT IS THE POLICY OF ARAPAHOE COUNTY THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY INNOVATIVE LAND CONSULTANTS. ARAPAHOE COUNTY REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 30, ARTICLE 28, BUT CANNOT, ON BEHALF OF SOUTH QUINCY RESIDENTIAL DEVELOPERS, INC., A COLORADO CORPORATION, GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE SOUTH QUINCY RESIDENTIAL DEVELOPERS, INC., A COLORADO CORPORATION, AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF ARAPAHOE COUNTY THAT APPROVAL OF THE FINAL PLAT AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF INNOVATIVE LAND CONSULTANTS DRAINAGE DESIGN.

LANDSCAPE MAINTENANCE

THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNERS, HOMEOWNERS ASSOCIATION, OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS.

THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

SIGHT TRIANGLE MAINTENANCE

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

PUBLIC IMPROVEMENTS NOTE

AFTER FINAL DEVELOPMENT PLAN/FINAL PLAT APPROVAL, ISSUANCE OF INDIVIDUAL BUILDING PERMITS WILL BE SUBJECT TO THE FOLLOWING STIPULATIONS AND/OR CONDITIONS PRECEDENT, WHICH OWNER AGREES TO IN CONJUNCTION WITH APPROVAL OF THE FINAL DEVELOPMENT PLAN AND/OR FINAL PLAT. SUCH BUILDING PERMITS WILL BE ISSUED ONLY AFTER THE OWNERS GUARANTEE PUBLIC IMPROVEMENTS IN A FORM ACCEPTABLE TO THE BOARD OF COUNTY COMMISSIONERS PURSUANT TO STATE STATUTE.

DRAINAGE MASTER PLAN NOTE

THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS SET FORTH BELOW:

- DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE III DRAINAGE REPORT AND PLAN.
- DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGEWAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE, TO MINIMIZE OVERALL CAPITAL COSTS. THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
- EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGEWAY PLANS (SECTION 3.4 OF THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL) OR AS REQUIRED BY THE COUNTY AND DESIGNATED IN THE PHASE III DRAINAGE REPORT.

SPECIFIC NOTES:

STREET LIGHTING

ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PLAN, TOGETHER WITH RATES, RULES, AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERE TO. THE OWNER OR OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE PLAN ACCORDING TO APPLICABLE RATES, RULES, AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO.

REGIONAL TRANSPORTATION IMPROVEMENT FEE (RTIF) AREA

THIS DEVELOPMENT IS LOCATED WITHIN AN AREA THAT HAS BEEN IDENTIFIED AS DEFICIENT IN REGIONAL INFRASTRUCTURE IMPROVEMENTS, PRIMARILY REGIONAL TRANSPORTATION INFRASTRUCTURE. THE BOARD OF COUNTY COMMISSIONERS HAS ADOPTED RESOLUTION 375-95A, WHICH REQUIRES FEES PURSUANT TO THE FEE SCHEDULE ADOPTED BY THIS RESOLUTION, TO BE CHARGED BY THE BUILDING DIVISION, AND COLLECTED UPON THE ISSUANCE OF ALL BUILDING PERMITS FOR NEW CONSTRUCTION WITHIN THE REGION BOUNDARIES. THE FEES, THE REGION BOUNDARIES, THE REGIONAL TRANSPORTATION INFRASTRUCTURE PROPOSED TO BE FUNDED BY THE FEES, AND OTHER PERTINENT PORTIONS OF THE FEE SCHEDULE MAY BE FURTHER STUDIED AND AMENDED FROM TIME TO TIME, AS NEEDED TO ENSURE A FAIR BALANCED SYSTEM.

AIRPORT INFLUENCE AREA NOTE (OFF-SITE IMPROVEMENTS):

TO CARRY OUT ONE OR MORE OF THE FOLLOWING AS MAY BE REQUIRED BY THE BOARD OF COUNTY COMMISSIONERS:
1) TO INCLUDE SAID DEVELOPMENT WITHIN A SPECIAL DISTRICT FOR THE PURPOSE OF PARTICIPATION IN THE CONSTRUCTION OF NECESSARY OFF-SITE IMPROVEMENTS AT THE TIME OF APPROVAL OF FINAL DEVELOPMENT PLANS.

2) TO COOPERATE WITH OTHER OWNERS OF OTHER PARCELS AND/OR OTHER SPECIAL DISTRICTS IN OFF-SITE ROADWAY IMPROVEMENTS AS NECESSITATED BY THE DEVELOPMENT IMPACTS AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.

3) TO COMPLETE SUCH OTHER IMPROVEMENTS TO PUBLIC ROADWAYS BROUGHT ABOUT OR IMPACTED BY THIS DEVELOPMENT AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.

4) TO PARTICIPATE AND COOPERATE IN ANY TRANSPORTATION MANAGEMENT PROGRAM AS SPECIFIED IN THE AIRPORT INFLUENCE AREA TRANSPORTATION STUDY, IF SUCH A PROGRAM IS APPROVED AND/OR ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS.

AIRPORT INFLUENCE AREA NOTE (EASEMENT/HAZARD EASEMENT):

AN AVIATION AND HAZARD EASEMENT AFFECTING ALL PROPERTY CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN HAS BEEN LEGALLY EXECUTED. SAID EASEMENT DOCUMENT CAN BE FOUND AT RECEPTION NUMBER B4182079 AND IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER.

THE LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN LIE WITHIN THE AIRPORT INFLUENCE AREA, AN AREA WHICH IS LIKELY TO BE AFFECTED BY AIRCRAFT OPERATIONS AND THEIR POTENTIAL NOISE AND/OR CRASH HAZARDS TO A GREATER DEGREE THAN LANDS SITUATED OUTSIDE OF THE INFLUENCE AREA.

ALL LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN SHALL COMPLY WITH F.A.R. PART 77, "HEIGHT AND OBSTRUCTIONS CRITERIA".

DRAINAGE:

ALL DRAINAGE, DETENTION POND AND STORM SEWER EASEMENTS SHOWN HEREON BURDEN AND RUN WITH ALL LANDS DESCRIBED IN THIS PLAT TO THE BENEFIT OF ARAPAHOE COUNTY AND ITS ASSIGNS AND ARE BINDING UPON THE OWNERS AND THEIR RESPECTIVE SUCCESSORS, HEIRS AND ASSIGNS. THE EASEMENTS ARE GOVERNED BY THE TERMS AND CONDITIONS OF ARAPAHOE COUNTY'S STORMWATER AND DRAINAGE REGULATIONS AND STANDARDS AND ALL TERMS AND CONDITIONS OF RECORD, INCLUDING THOSE RECORDED ON JUNE 5, 1997, AT RECEPTION NUMBER A7086570, AS THOSE REGULATIONS, STANDARDS, TERMS AND CONDITIONS EXIST AT THE TIME OF COUNTY APPROVAL OF THIS DOCUMENT AND AS THEY MAY BE AMENDED FROM TIME TO TIME.

PUBLIC USE EASEMENT:

ALL PUBLIC USE EASEMENTS SHOWN HEREON BURDEN AND RUN WITH ALL LANDS DESCRIBED IN THIS PLAT TO THE BENEFIT OF ARAPAHOE COUNTY AND ITS ASSIGNS AND ARE BINDING UPON THE OWNERS AND THEIR RESPECTIVE SUCCESSORS, HEIRS AND ASSIGNS. THE PUBLIC USE EASEMENTS ARE GOVERNED BY THE TERMS AND CONDITIONS OF ARAPAHOE COUNTY'S EASEMENT REGULATIONS AND STANDARDS AND ALL TERMS AND CONDITIONS OF RECORD, IF ANY, AS THOSE REGULATIONS, STANDARDS, TERMS AND CONDITIONS EXIST AT THE TIME OF COUNTY APPROVAL OF THIS DOCUMENT AND AS THEY MAY BE AMENDED FROM TIME TO TIME.

PRIVATE OPEN SPACE:

- THE PRIVATE PARK SITE AS SHOWN ON THIS PLAT OR PLAN SHALL BE MAINTAINED IN PERPETUITY BY THE OWNERS, HOMEOWNERS ASSOCIATION, AND/OR ENTITY OTHER THAN ARAPAHOE COUNTY.
- BUILDING PERMITS WILL BE ISSUED FOR ONLY ONE-HALF OF THE LOTS IN THIS SUBDIVISION UNTIL THE PARK FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLAN.
- WHEN A PROJECT CONSISTS OF ONE LOT, THE PRIVATE PARK SHALL BE INSTALLED PRIOR TO THE CERTIFICATE OF OCCUPANCY.

GENERAL NOTES:

LANDSCAPING AND FENCING:

THE OWNERS OF THE ADMINISTRATIVE SITE PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE HOMEOWNERS ASSOCIATION, OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF LANDSCAPING, PROJECT SIGNAGE AND FENCING AS INDICATED BELOW.

LANDSCAPING WITHIN COUNTY RIGHT-OF-WAY WILL REQUIRE SEPARATE PLAN SUBMITTAL AND AGREEMENTS WITH THE COUNTY. PROBATIONARY ACCEPTANCE WILL BE HELD UNTIL THESE PLANS ARE APPROVED.

LANDSCAPING IMPROVEMENTS FOR THIS DEVELOPMENT WILL BE ON TWO LEVELS: (1) COMMUNITY-WIDE LANDSCAPING, AND (2) INDIVIDUAL LOT LANDSCAPING.

COMMUNITY-WIDE LANDSCAPING WILL INCLUDE:

PERIMETER LANDSCAPING. THE COLLECTOR STREET SECTIONS WILL BE LANDSCAPED, WITH A COMBINATION OF TURF TYPES AND PLANTED WITH A VARIETY OF TREES. A FENCE WILL BE CONSTRUCTED WITHIN THE LANDSCAPE AREAS WITH ATTRACTIVE ENTRYWAY FEATURES LOCATED AT THE SUBDIVISION ENTRANCES. PERIMETER LANDSCAPING ALONG THESE COLLECTOR SECTIONS WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION PER TRACT SUMMARY TABLE SHOWN ON THE COVER SHEET.

- ENTRY LANDSCAPING.** THE RIGHT-OF-WAY LOCATED ALONG COPPERLEAF BOULEVARD WILL BE DEVELOPED WITH FENCING, PROJECT SIGNAGE, AND PLANTINGS THAT WILL ENHANCE THE ENTRANCE INTO THIS PROPERTY. ALL ENTRY LANDSCAPING AND PROJECT SIGNAGE, INCLUDING MEDIANS, WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

SIGNAGE CRITERIA:

NO SIGNAGE OTHER THAN THAT REQUIRED FOR SITE ADDRESSING, GENERAL IDENTIFICATION, AND DEVELOPMENT IDENTIFICATION SHALL BE ALLOWED ON SITE, EXCEPT FOR SIGNAGE REQUIRED FOR SALES AND MARKETING PURPOSES. ALL SIGNAGE INSTALLED SHALL MEET AND BE GOVERNED BY CURRENT ARAPAHOE COUNTY SIGN CODES AND/OR APPROVED PDP. FOR TRAFFIC SIGNAGE AND STRIPING SEE THE CONSTRUCTION PLANS.

LIGHTING CRITERIA:

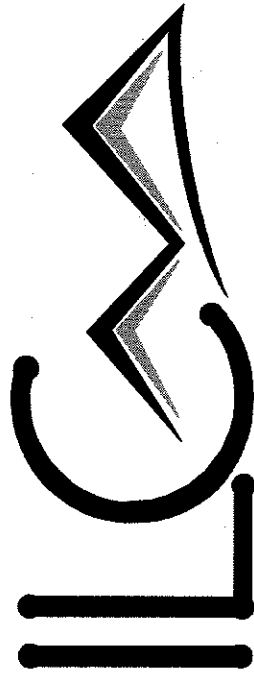
NO PRIVATE LIGHTING SHALL BE ERECTED HIGHER THAN 10 FEET FROM GROUND LEVEL, UNLESS SPECIFICALLY APPROVED BY THE HOMEOWNERS ASSOCIATION. LIGHTING SHALL BE DOWN-DIRECTED AND SHALL NOT CAST A GLARE ON ADJACENT PROPERTIES. STREET LIGHTING AND SEASONAL HOLIDAY LIGHTING SHALL NOT BE GOVERNED BY THIS RESTRICTION. ENFORCEMENT OF THIS RESTRICTION SHALL BE THE RESPONSIBILITY OF AN ENTITY OTHER THAN ARAPAHOE COUNTY.

LANDSCAPE BUFFERS

STREET LANDSCAPE BUFFER(S) AS INDICATED ON THE TRACT DESIGNATION TABLE ARE FOR THE INSTALLATION AND MAINTENANCE OF LANDSCAPE MATERIALS, FENCING, MONUMENTS AND PUBLIC PEDESTRIAN WALKS/TRAILS. UNDERGROUND UTILITIES INCLUDING GAS, ELECTRIC, TELEPHONE AND CABLE ARE PERMITTED USES PROVIDED SUCH UTILITIES ARE INSTALLED IN COORDINATION WITH OTHER USES. THE INSTALLATION AND PLACEMENT OF SURFACE EQUIPMENT ASSOCIATED WITH CABLE, TELEPHONE, GAS AND ELECTRIC UTILITIES IS SPECIFICALLY PROHIBITED WITHOUT PRIOR COORDINATION AND APPROVAL FROM THE DEVELOPER AND/OR PROPERTY OWNER.

FIRE DISTRICT:

- SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS AND DRIVES.
- ALL ROADS AND DRIVES ARE HEREBY DESIGNATED AS FIRE LANES WHEN REQUIRED BY THE FIRE DISTRICT. ALL FIRE LANES SHALL BE POSTED "NO PARKING-FIRE LANE." ALL FIRE LANES SHALL BE INCLUDED IN THE ARAPAHOE COUNTY PROGRAM FOR ENFORCEMENT OF PRIVATE PROPERTY PARKING.
- COMPLETE SPECIFICATIONS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE FIRE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION OCCURRING.
- ALL FIRE HYDRANTS ARE TO BE INSTALLED IN CONFORMANCE WITH SECTIONS 508.5.4 AND 508.5.5 OF THE 2003 INTERNATIONAL FIRE CODE. NO LANDSCAPING, FENCING OR ANY OTHER OBSTRUCTION SHALL BE PLACED WITHIN THREE FEET OF A FIRE HYDRANT.
- THE FIRE DISTRICT REQUIRES ALL NEW BUILDINGS OR DEVELOPMENTS ADD OPTICOM TRAFFIC SIGNALING EQUIPMENT TO ANY NEW TRAFFIC SIGNALS. THE DEVELOPER SHALL SUBMIT TRAFFIC SIGNAL PLANS TO THE FIRE DISTRICT FOR APPROVAL PRIOR TO INSTALLATION.
- THE FIRE DISTRICT REQUIRES ALL NEW ROOFING SYSTEMS BE EITHER NON-COMBUSTIBLE OR PART OF AN APPROVED FIRE RATED ROOFING SYSTEM. THE DEVELOPER SHALL SUBMIT APPROPRIATE PLANS AND SPECIFICATIONS TO THE FIRE DISTRICT WITH THE BUILDING PLANS.



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Westminster, CO 80234
303.421.4224
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Denver, Colorado 80204
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Copperleaf Filing No. 22

Arapahoe County

Final Development Plan

Notes Sheet

Proj. Name:

Location:

Plan Set:

Sheet Name:

Date:

September 12, 2019

Job No.:

1008-15

Approved By:

TRH

Designed By:

XWL

Horiz. Scale:

1" =

Sheet:

2 of 15

Client:

South Quincy Residential
Developers, Inc.

Address:

7400 E. Orchard Rd.
Greenwood Village, CO 80111

Contact:

Daniel Frank
303.573-0066

Sheet:

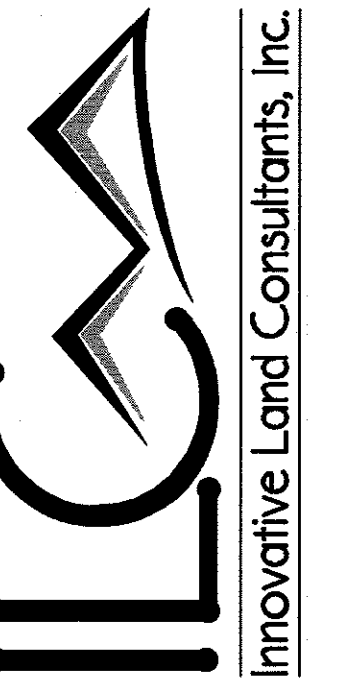
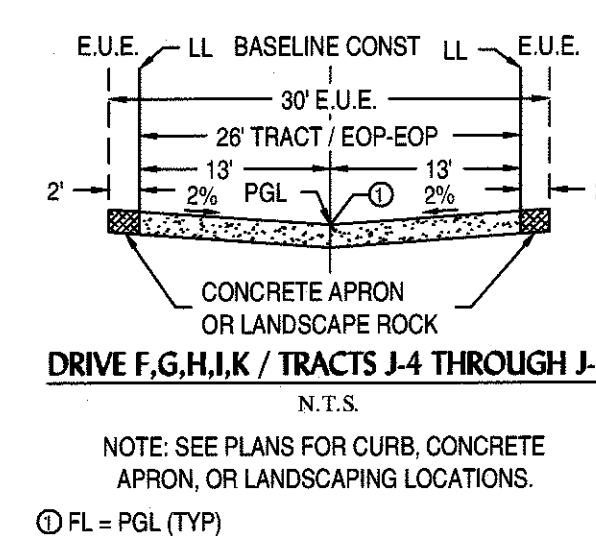
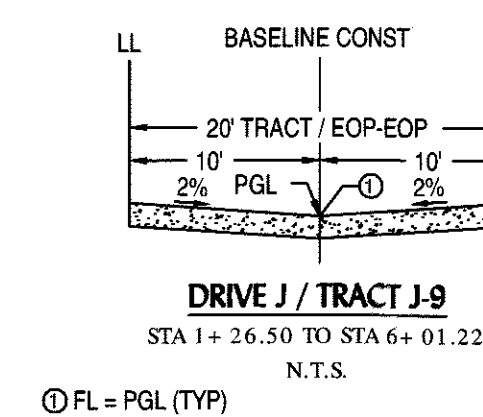
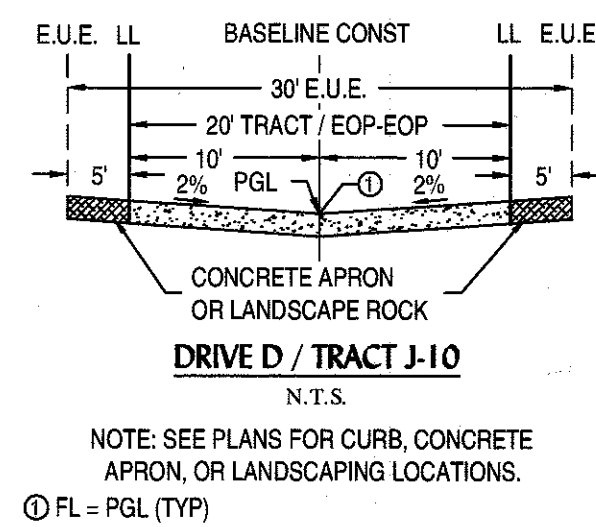
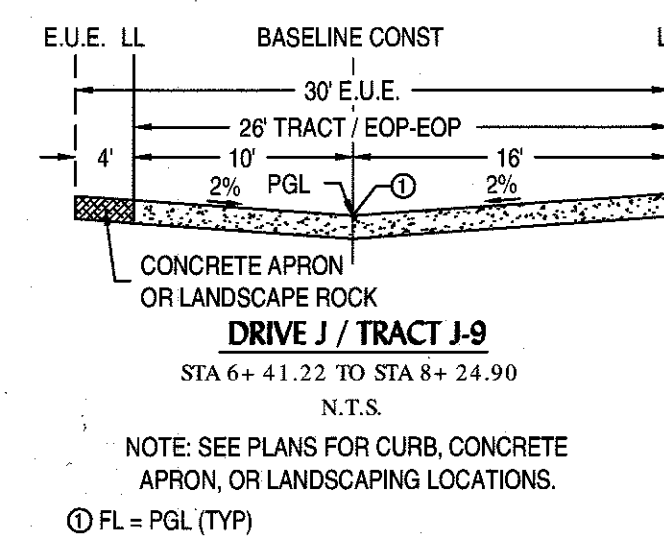
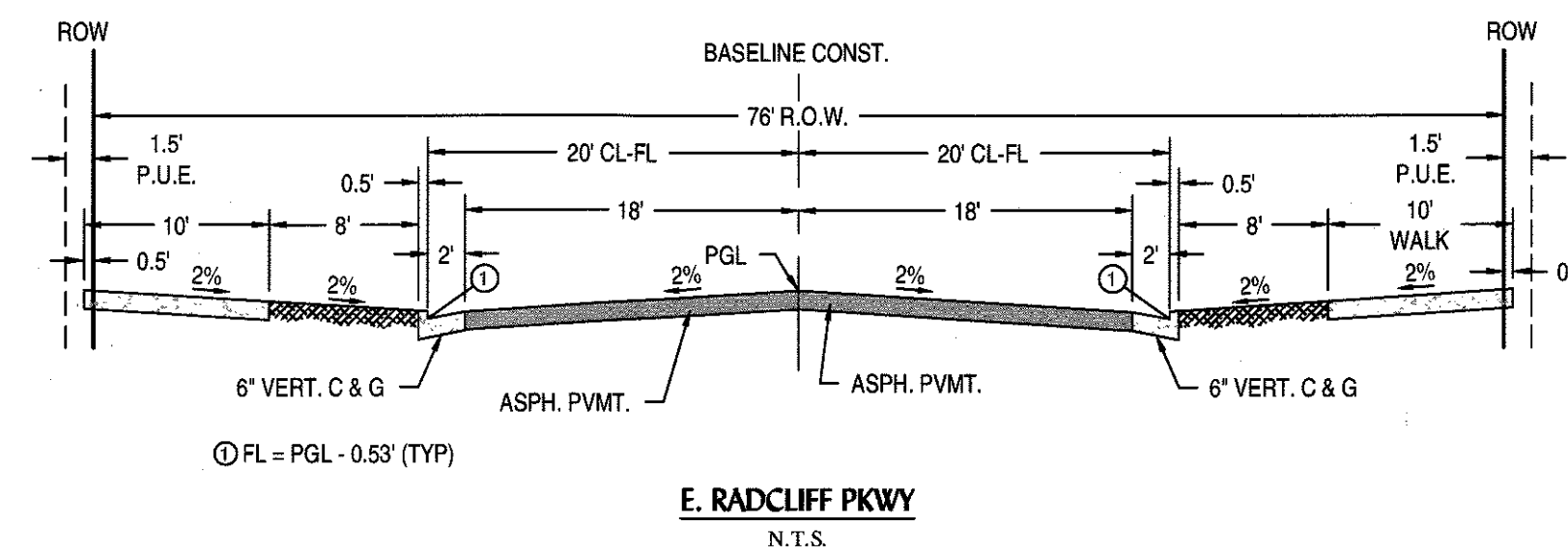
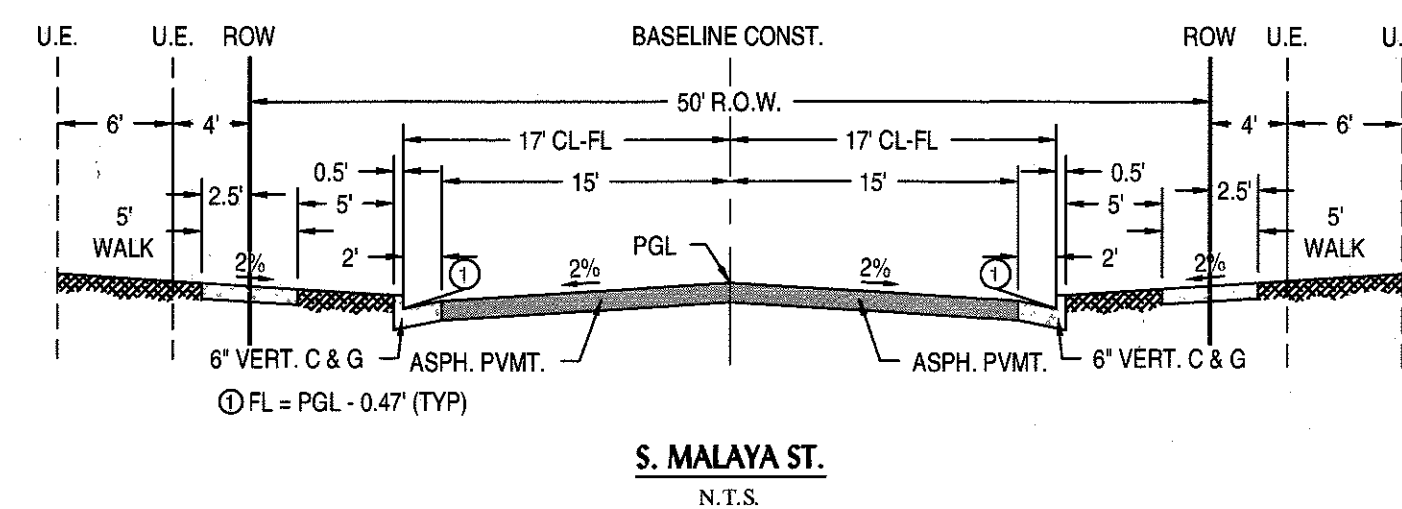
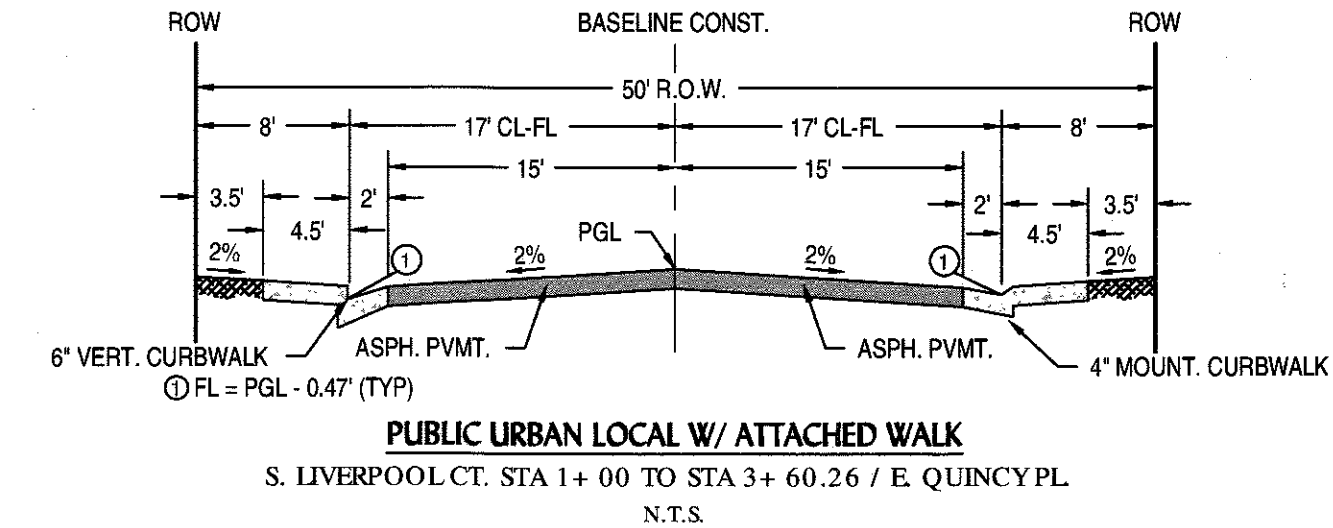
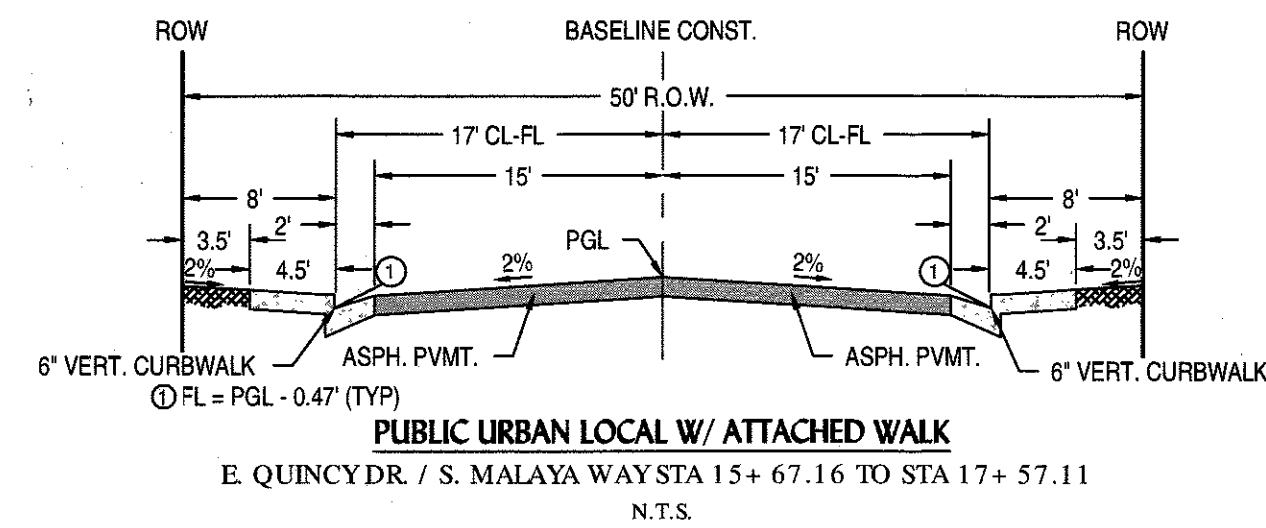
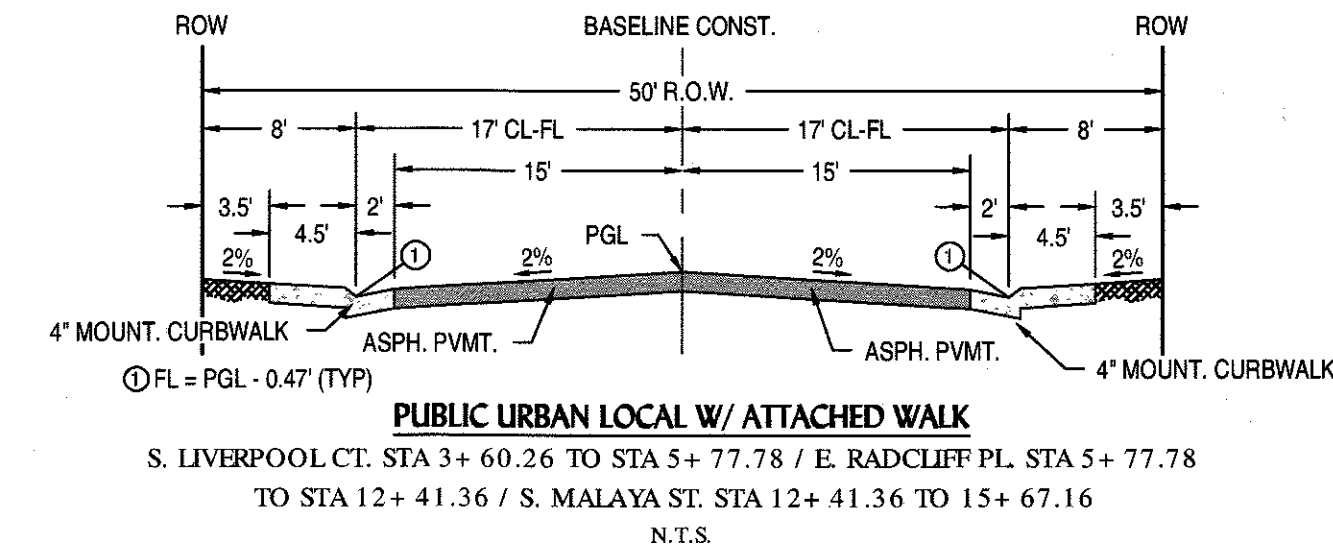
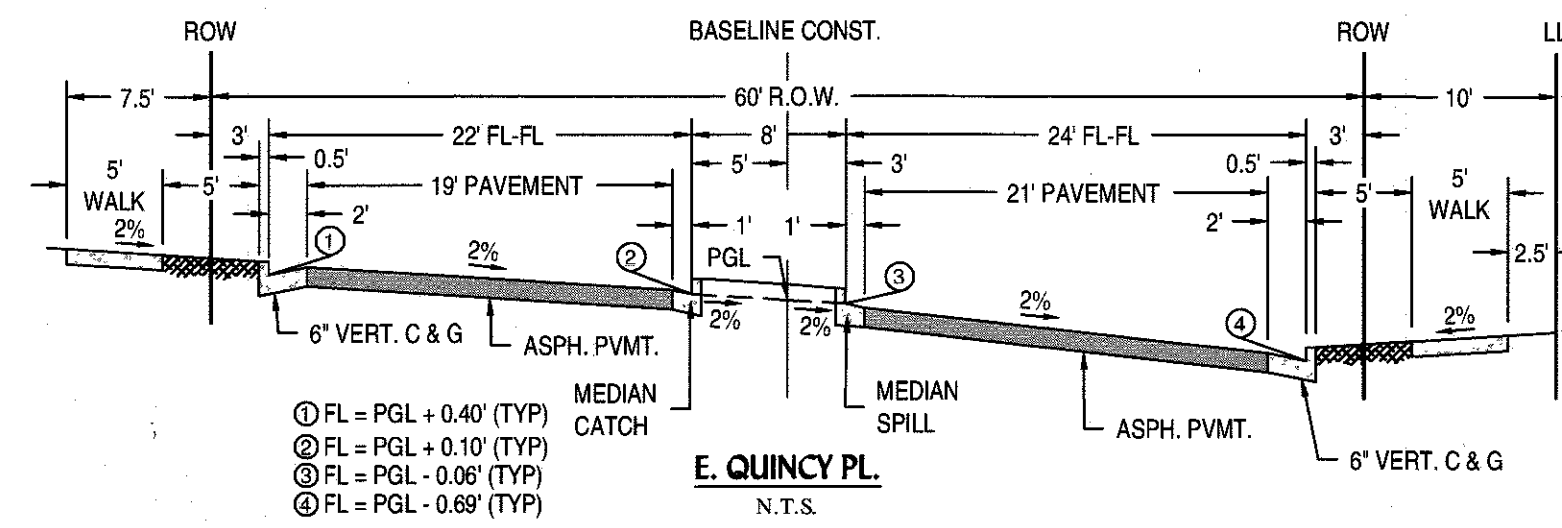
2

Job 1/34

COPPERLEAF FILING NO. 22

FINAL DEVELOPMENT PLAN

ALL OF COPPERLEAF FILING NO. 22, COUNTY OF ARAPAHOE, STATE OF COLORADO.
LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 65 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
SHEET 3 OF 15



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Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



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Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
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Copperleaf Filing No. 22
Arapahoe County
Final Development Plan
Street Sections Sheet

Proj Name:	Copperleaf Filing No. 22
Location:	Arapahoe County
Plan Set:	Final Development Plan
Sheet Name:	Street Sections Sheet
Date:	September 12, 2019
Job No.:	1008-15
Approved By:	TRH
Designed By:	XWL
Horiz. Scale:	1" = 60'
Sheet:	3 of 15
Client:	South Quincy Residential Developers, Inc.
Address:	7400 E. Orchard Rd. Greenwood Village, CO 80111
Contact:	Daniel Frank 303-573-0066
Sheet:	3

COPPERLEAF FILING NO. 22 FINAL DEVELOPMENT PLAN

ALL OF COPPERLEAF FILING NO. 22, COUNTY OF ARAPAHOE, STATE OF COLORADO.
LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 65 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
SHEET 4 OF 15

EASEMENT ABBREVIATIONS

U.E. = UTILITY
D.E. = DRAINAGE
H.O.A.E. = HOMEOWNERS ASSOC.
P.U.E. = PUBLIC USE
E.U.E. = E.C.V. UTILITY BY SEPARATE INSTRUMENT

EASEMENT NOTES

1. ALL EASEMENTS UNLESS OTHERWISE NOTED, PER RECORD COPPERLEAF FILING NO. 22 FINAL PLAT.
2. ALL E.U.E. ARE EASEMENTS OWNED BY EAST CHERRY CREEK VALLEY WATER & SANITATION DISTRICT PER FN 1813161 AND ARE SHOWN FOR REFERENCE ONLY.

NOTES:

- ALL AREAS SHOWN ARE IN SQUARE FEET (SF) UNLESS OTHERWISE NOTED ON PLANS
- REFER TO THE COPPERLEAF FILING NO. 22 - STREET AND STORM SEWER CONSTRUCTION PLANS FOR LOT CORNER ELEVATIONS AND LOT GRADING TEMPLATES

LEGEND

- Property Line
- Right of Way Line
- Centerline
- Lot Line
- Easement Line
- Setback Line
- Retaining Wall
- Swale Line
- Site Line
- Sight Distance Line
- Storm Manhole
- Type 'R' Inlet
- Sanitary Sewer Manhole
- Fire Hydrant
- Water Valve
- Thrust Block
- Reducer
- Plug & Blow-off
- Sign
- Air Release Valve
- Range Box
- Storm Sewer Line
- Water Line
- Sanitary Sewer Line
- Water Service Line & Meter
- Sanitary Sewer Service Line
- Solid Underdrain
- Ex. Sanitary Sewer Line
- Ex. Water Line
- Ex. Storm Sewer Line
- Ex. Gas
- Ex. Underground Electric
- Ex. Overhead Electric
- Ex. Fiber Optic
- Ex. Fence
- Proposed Major Contour
- Proposed Minor Contour
- Existing Major Contour
- Existing Minor Contour
- 100-YR Floodplain
- Riparian Corridor
- Regulated Wetlands
- Ex. Asphalt Pavement
- Ex. Concrete Pavement
- Prop. Asphalt Pavement
- Prop. Concrete Pavement

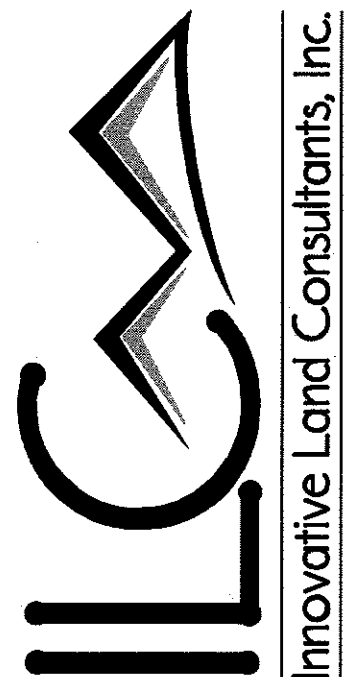
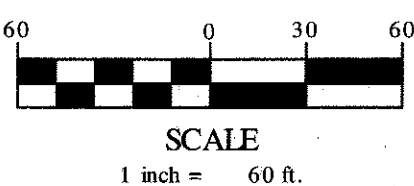
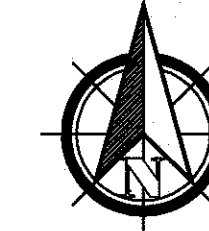
PROJECT CONTROL

BASE OF BEARINGS

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 5, SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN WHICH WAS DETERMINED TO BE A NORTH 84°40'09" EAST BY GPS OBSERVATION.

BENCHMARK:

CITY OF AURORA BENCHMARK 58610NE002 (AKA RV-105) BEING A CHISELED TRIANGLE SET ON THE WESTERLY CONCRETE BASE OF A HIGH TENSION POWERLINE TOWER 170 ± FEET NORTH OF THE INTERSECTION OF SOUTH RESERVOIR ROAD AND SOUTH HIMALAYA STREET.
NGVD29 ELEVATION = 5802.32' NAVD88 ELEV = 5805.37'



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Copperleaf Filing No. 22

Arapahoe County

Final Development Plan

Site, Grading & Utility Plan

Proj. Name:	Copperleaf Filing No. 22
Location:	Arapahoe County
Plan Set:	Final Development Plan
Sheet Name:	Site, Grading & Utility Plan
Date:	September 12, 2019
Job No.:	1008-15
Approved By:	TRH
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Horiz. Scale:	1" = 60'
Sheet:	4 of 15
Client:	South Quincy Residential Developers, Inc.
Address:	7400 E. Orchard Rd. Greenwood Village, CO 80111
Contact:	Daniel Frank 303.573-0066
Sheet:	4

P:\COPPERLEAF - 0000-01--0000\COPPERLEAF - PARCEL J - DUE DILIGENCE AND PRE-APP - 0061-01-0107\DRAWINGS\SUBMITTALS\PLAN-COP PARCEL J-LAND PRINTED ON: 9/11/2019 4:48 PM

ARAPAHOE COUNTY CASE NO. FDP19-001

COPPERLEAF FILING NO. 22

FINAL DEVELOPEMENT PLANS

ALL OF COPPERLEAF FILING NO. 22, COUNTY OF ARAPAHOE, STATE OF COLORADO.
LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO

LANDSCAPE NOTES

SHEET 5 OF 15

LANDSCAPE PLANT LIST

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS CANOPY TREES				
16	DNM	DEBORAH NORWAY MAPLE	ACER PLATENOIDES 'DEBORAH'	2" CAL
18	GSL	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2" CAL
24	MSS	STATE STREET MAPLE	ACER MIYABEI 'MORTON'	2" CAL
16	ALM	ALLEE LACEBARK ELM	ULMUS PARVIFOLIA 'ALLEE'	2" CAL
20	SKY	SKYLINE HONEY LOCUST	GLEDITSIA TRIACNATHOS INERMUS 'SKYLINE'	2" CAL
EVERGREEN TREES				
22	AUS	AUSTRIAN PINE	PINUS NIGRA	8' HT. - FULLY BRANCHED TO GROUND
22	PON	PONDEROSA PINE	PINUS PONDEROSA	8' HT. - FULLY BRANCHED TO GROUND
8	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS	8' HT. - FULLY BRANCHED TO GROUND
42	PIN	PINION PINE	PINUS EDULIS	8' HT. - FULLY BRANCHED TO GROUND
DECIDUOUS ORNAMENTAL TREES				
3	AMC	AMUR CHOKECHERRY	PRUNUS MAACKII	6' HT. MIN CLUMP
6	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI INERMIS	1.5' CAL
11	SPR	SPRING SNOW CRAB (WHITE)	MALUS X 'SPRING SNOW'	1.5' CAL
DECIDUOUS SHRUBS- 2'-5' SPREAD				
86	MOR	MORMON TEA	EPHEDRA VIRIDIS	#5 CONT.
76	RSA	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	#5 CONT.
21	DMS	DWARF MOCKORANGE	PHILADELPHUS X VIRGINALIS 'DW. MINN. SNOWFLAKE'	#5 CONT.
40	MCK	MCKAY'S WHITE POTENTILLA	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	#5 CONT.
65	TAP	TANGERINE POTENTILLA	POTENTILLA FRUTICOSA 'TANGERINE'	#5 CONT.
5	HCO	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTI 'HANCOCK'	#5 CONT.
61	MKL	MISS KIM DWARF LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONT.
DECIDUOUS SHRUBS- 5'-7' SPREAD				
138	WSC	WESTERN SAND CHERRY	PRUNUS BESSEYI	#5 CONT.
164	RTD	RED TWIG DOGWOOD	CORNUS SERICEA 'ISANTI'	#5 CONT.
66	DKL	DWARF KOREAN LILAC	SYRINGA MEYERI 'PALIBIN'	#5 CONT.
DECIDUOUS SHRUBS- 7'-9' SPREAD				
32	UTS	UTAH SERVICEBERRY	AMELANCHIER UTAHENSIS	#5 CONT.
46	CMM	CURLLEAF MOUNTAIN MAHOGANY	CERCOCARPUS LEDIFOLIUS	#5 CONT.
EVERGREEN SHRUBS				
12	HUG	HUGHES JUNIPER	JUNIPERUS HORIZONTALIS	#5 CONT.
10	BUF	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	#5 CONT.
22	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	#5 CONT.
43	ACJ	ALPINE CARPET JUNIPER	JUNIPERUS COMMUNIS 'MONDAP'	#5 CONT.
63	YFI	ADAM'S NEEDLE	YUCCA FILAMENTOSA	#5 CONT.
46	SPA	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	#5 CONT.
GRASSES				
34	FRG	FEATHER REED GRASS	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	#1 CONT.
156	MMG	MAIDEN HAIR GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	#1 CONT.
96	PMG	PURPLE MAIDEN GRASS	MISCANTHUS 'PURPURASCENS'	#1 CONT.
401	DFG	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	#1 CONT.
334	SHD	SHENANDOAH SWITCHGRASS	PANICUM VIRATUM 'SHENANDOAH'	#1 CONT.
510	LBG	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	#1 CONT.
140	VMG	VARIEGATED MAIDEN HAIR GRASS	MISCANTHUS SINENSIS 'VARIEGATUS'	#1 CONT.
PERENNIALS				
141	HCR	CORONADO HYSSOP	AGASTACHE AURANTIACA CORONADO	#1 CONT.
24	MAW	MOUNTAIN ALYSSUM 'WULFENIANUM'	ALYSSUM	#1 CONT.
18	SEP	SEA PINKS	ARMERIA MARITIMA 'SPLENDENS'	#1 CONT.
23	POM	POPPY MALLOW	CALLIRHOE INVOLUCRATA	#1 CONT.
99	LAC	LANCE-LEAF COREOPSIS	COREOPSIS LANCEOLATA	#1 CONT.
12	CTU	GLOBE CANDYTUFT	IBERIS UMBELLATA	#1 CONT.
29	POI	ICELAND POPPY	PAPAVER NUDICAULE	#1 CONT.

LANDSCAPE CHARTS

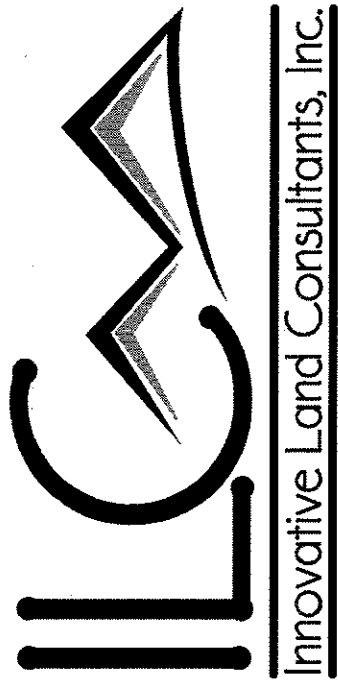
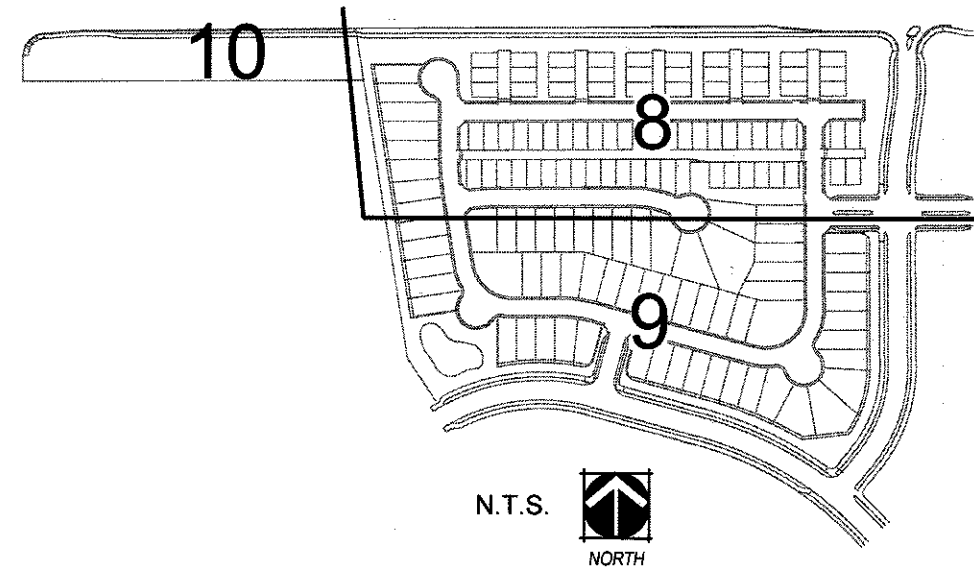
TOTAL IMPROVED AREA WITHIN TRACTS	TREES REQUIRED (1/2000 S.F.)	TREES PROVIDED	SHRUBS REQUIRED (10/2000 S.F.)	SHRUBS PROVIDED
TRACT J-1 82,452 S.F.	41	74	412	631
TRACT J-2 23,335 S.F.	12	27	117	113
TRACT J-3 9,574 S.F.	5	16	48	114
TRACT J-11 871 S.F.	0	1	4	18
TRACT J-12 503 S.F.	0	1	3	16
TRACT J-13 1,540 S.F.	0	0	8	23
TRACT J-14 579 S.F.	0	1	3	14
TRACT J-15 577 S.F.	0	1	3	9
TRACT J-16 25,286 S.F.	13	17	126	6
TRACT J-17 4,648 S.F.	2	7	22	13
TOTAL 149,364 S.F.	73	145	746	944

LANDSCAPE TOTALS

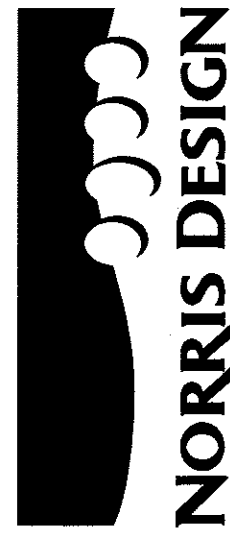
TOTAL SOD AREA	69,843 S.F.
TOTAL SHRUB BED AREA	45,215 S.F.
TOTAL NATIVE SEED AREA	70,473 S.F.

LANDSCAPE AREAS INCLUDE R.O.W. AREA

KEYMAP



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Westminster, CO 80234
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Copperleaf Filing No. 22
Arapahoe County, Colorado
Final Development Plan
LANDSCAPE NOTES

Prop. Name:
Location:
Plan Set:
Sheet Name:

Date: 09/12/2019

Job No.:

Approved By: INNOVATIVE

Designed By: NORRIS DESIGN

Horiz. Scale:

Sheet: 5 OF 15

Client:

Richmond American Homes

Address:

4530 S. Monaco St., Denver, CO 80237

Contact:
Mick Schuhmacher
720.977.3866

Sheet: 5



JB 1/14

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COPPERLEAF FILING NO. 22

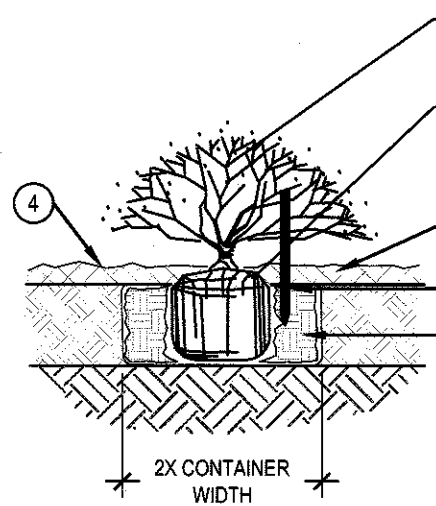
FINAL DEVELOPEMENT PLANS

ALL OF COPPERLEAF FILING NO. 22, COUNTY OF ARAPAHOE, STATE OF COLORADO.
LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
LANDSCAPE NOTES AND DETAILS
SHEET 6 OF 15

LANDSCAPE NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT 3.5 cu.yrds/1,000sf OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- RETAINING WALLS THAT ARE NECESSARY WITHIN THE COPPERLEAF FILING NO. 21 DEVELOPMENT MAY REQUIRE AN ASP AMENDMENT. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- SHRUB, GROUND COVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" x 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- IN ALL CASES SHRUB, GROUND COVER AND PERENNIAL BEDS ADJACENT TO BUILDING AND WALL FOUNDATIONS SHALL BE CONTAINED BY 4" x 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE PERFORATED EDGER, RYERSON OR EQUAL. EDGER SHALL NOT RESTRICT THE FREE FLOW OF DRAINAGE OR DAM WATER IN ANY CASE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.

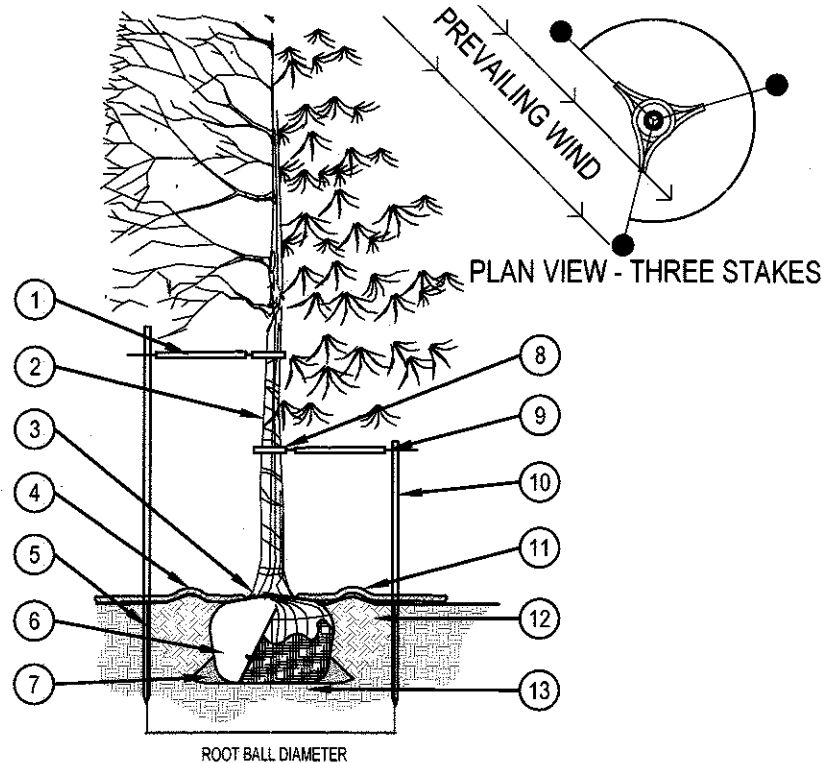
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, 1.5" RIVER ROCK LANDSCAPE MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. 75" RIVER ROCK TO BE USED IN ALL ORNAMENTAL GRASS BANDS. FEATHER ROCK AWAY FROM PLANT SO ROCK DOES NOT COVER GRASSES. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 2" DEPTH SHREDDED CEDAR LANDSCAPE MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUND COVER OR PERENNIAL AREAS.
- AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDDED AND RESTORED WITH SPECIFIED SEED MIX.
- SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL SEEDDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
- SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 4" x 14 GAUGE GREEN ROLL TOP EDGER, RYERSON OR EQUAL.
- ALL LANDSCAPE IMPROVEMENTS AND RELATED APPURTENANCES PLACED OR RELOCATED WITHIN ARAPAHOE COUNTY RIGHTS-OF-WAY MUST BE REVIEWED AND APPROVED BY THE ARAPAHOE COUNTY DIVISION OF ENGINEERING SERVICES. PROBATIONARY ACCEPTANCE WILL BE HELD UNTIL THESE DRAWINGS ARE APPROVED.
- A 5-FOOT MINIMUM OFFSET FROM THE OUTSIDE EDGE OF TREE ROOT TO THE OUTSIDE OF ANY REINFORCED CONCRETE PIPE (RCP) MUST BE MAINTAINED.



- ① SPECIFIED MULCH
② 2-6" WOODEN STAKE DRIVEN INTO GROUND NEXT TO ROOTBALL. 18" OF THE STAKE MUST BE VISIBLE
③ AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
④ FINISH GRADE
- NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
4. FILL PLANT PIT WITH 1/2 SPECIFIED SOIL MIX AND 1/2 PIT SOIL
5. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

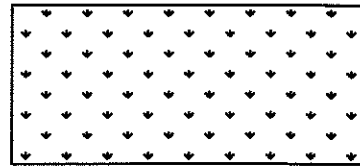
1 SHRUB PLANTING IN NATIVE AREAS

N.T.S.

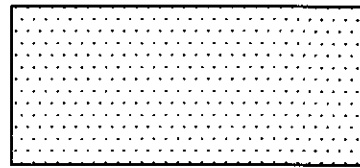


4 TREE PLANTING DETAIL

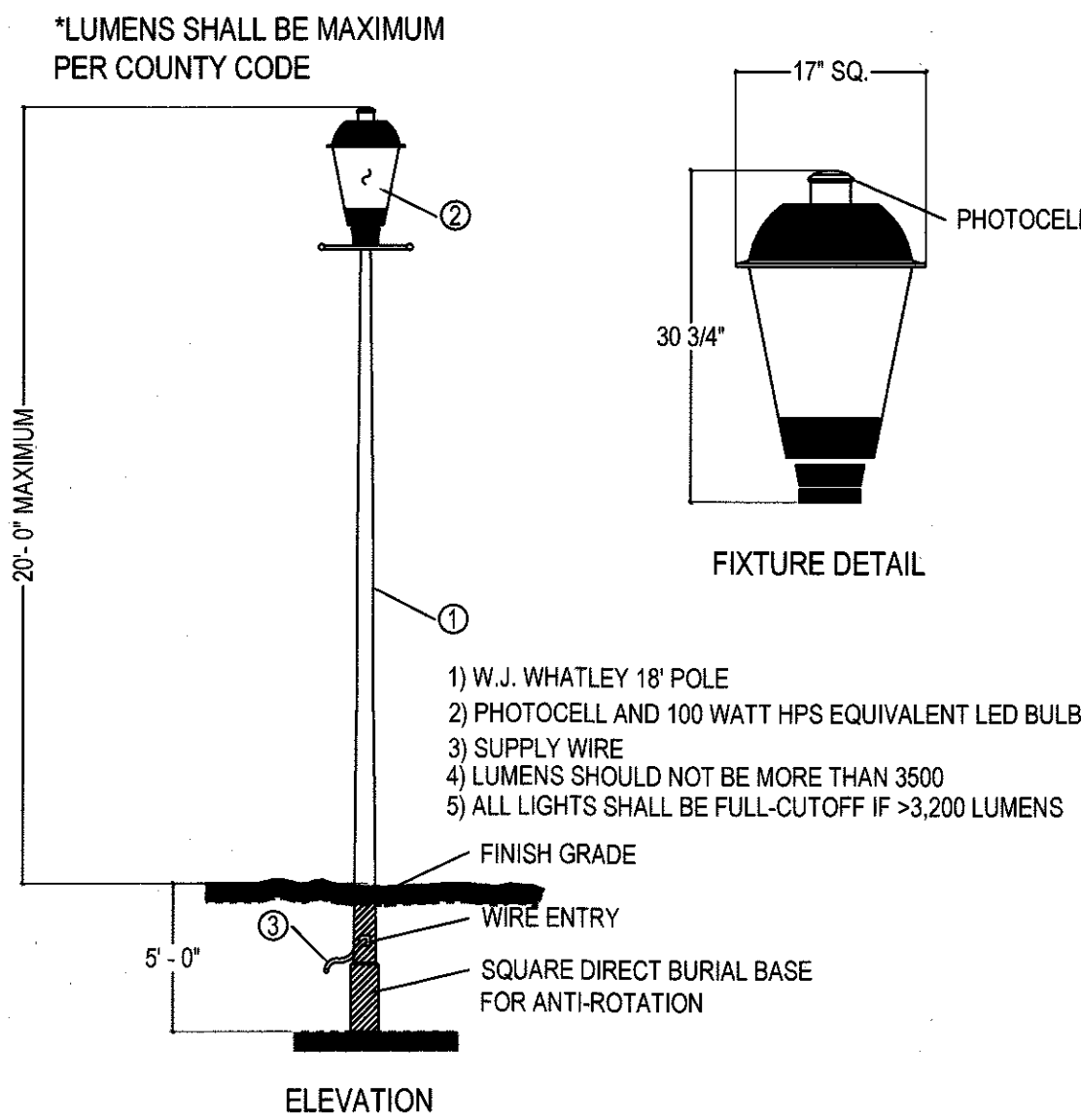
N.T.S.



DRYLAND SEED MIX



90/10 FESCUE/BLUEGRASS BLEND



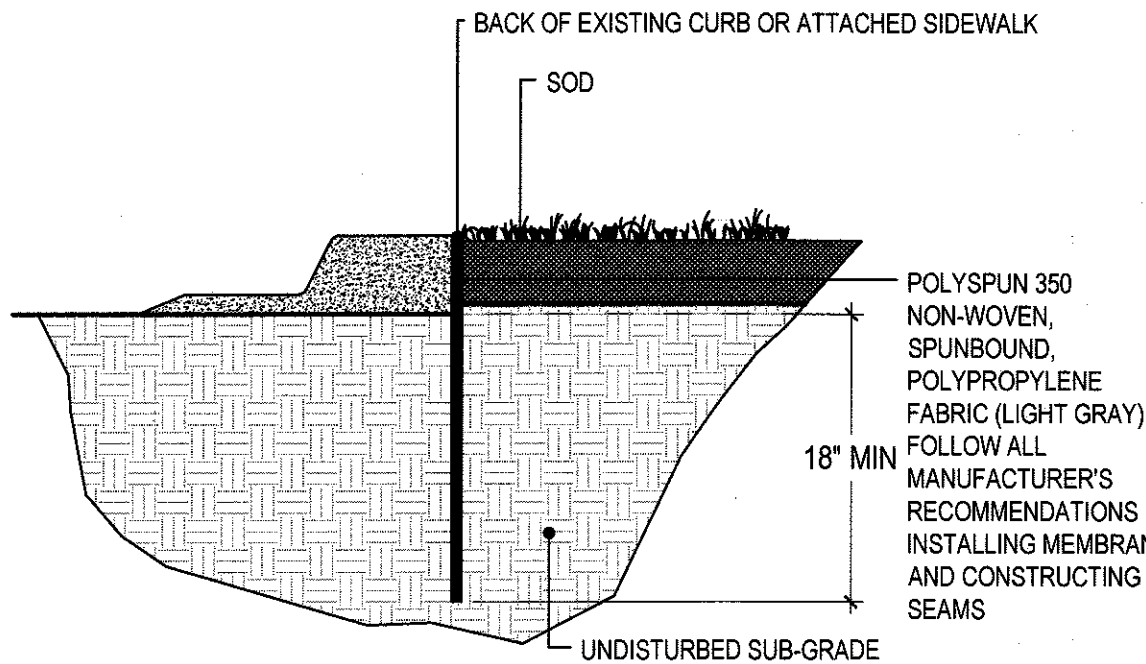
2 TYPICAL STREET LIGHT

SCALE: 3" = 1'-0"

- ① PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
② TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
③ PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1'-2" ABOVE FINAL GRADE.
④ 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
⑤ 1:1 SLOPE ON SIDES OF PLANTING HOLE.
⑥ REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
⑦ PLACE SOIL AROUND ROOT BALL FIRMLY. DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- ⑧ GROMMETED NYLON STRAPS
⑨ GALVANIZED WIRE, MIN. 12 GAUGE CABLE. TWIST WIRE ONLY TO KEEP FROM SLIPPING.
⑩ 6 FT. STEEL T-POST (SEE SCHEDULE). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
⑪ 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
⑫ BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING.
⑬ PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

DRYLAND SEED MIX

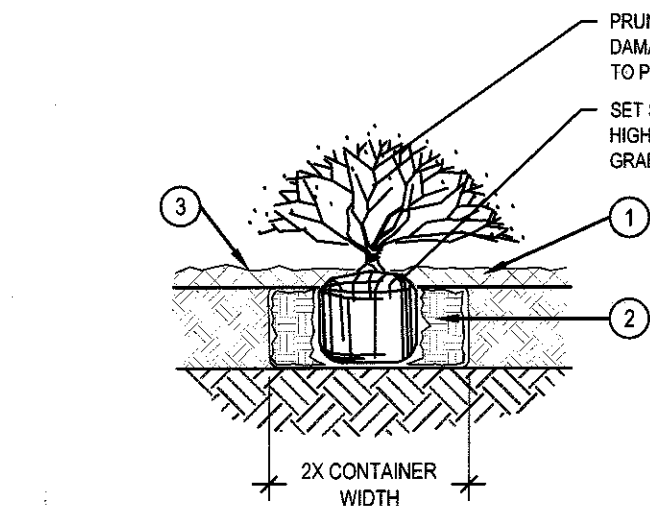
SCIENTIFIC NAME	COMMON NAME	% OF TOTAL	PER ACRE
AGROPYRON SMITHII VAR. ARRIBA	WESTERN WHEATGRASS	30%	6.4 LBS.
BOUTELOUA GRACILIS VAR. LOVINGTON	BLUE GRAMA	4%	0.8 LBS.
BOUTELOUA CURTIPENDULA VAR. VAUGHN	SIDE-OATS-GRAMA	6%	1.4 LBS.
BUCHLOE DACTYLOIDES VAR. SHARPS	BUFFALOGRASS	8%	1.7 LBS.
SCHIZACHYRIUM SCOPARIUS VAR. PASTURA	LITTLE BLUESTEM	3%	0.7 LBS.
REGREEN	REGREEN	49%	10 LBS.
		100%	21 LBS.



NOTE: CONTRACTOR RESPONSIBLE FOR COMPACTING TRENCH AFTER INSTALLING MEMBRANE
NOTE: SEE CIVIL ENGINEERING PLANS FOR UNDER DRAIN LOCATION AND DETAIL.

3 MOISTURE BARRIER

N.T.S.



5 SHRUB PLANTING

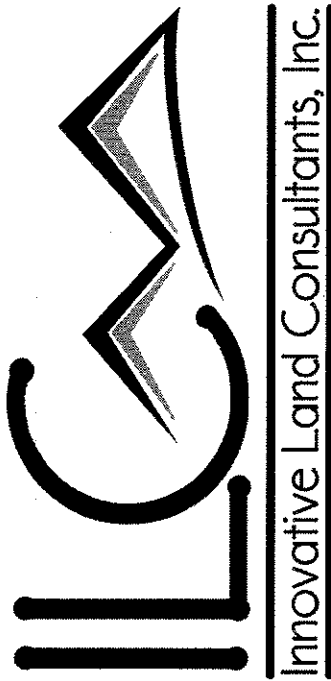
N.T.S.

- ① SPECIFIED MULCH
② AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
③ FINISH GRADE (TOP OF MULCH)
- NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
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4. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER



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Copperleaf Filing No. 22

Arapahoe County, Colorado

Final Development Plan

LANDSCAPE NOTES AND DETAILS

Proj. Name:

Date: 09/12/2019

Job No.:

Approved By: INNOVATIVE

Designed By: NORRIS DESIGN

Horiz. Scale:

Sheet: 6 OF 15

Client:

Richmond American Homes

Address:

4530 S. Monaco St. Denver, CO 80237

Contact:

Mick Schuhmacher

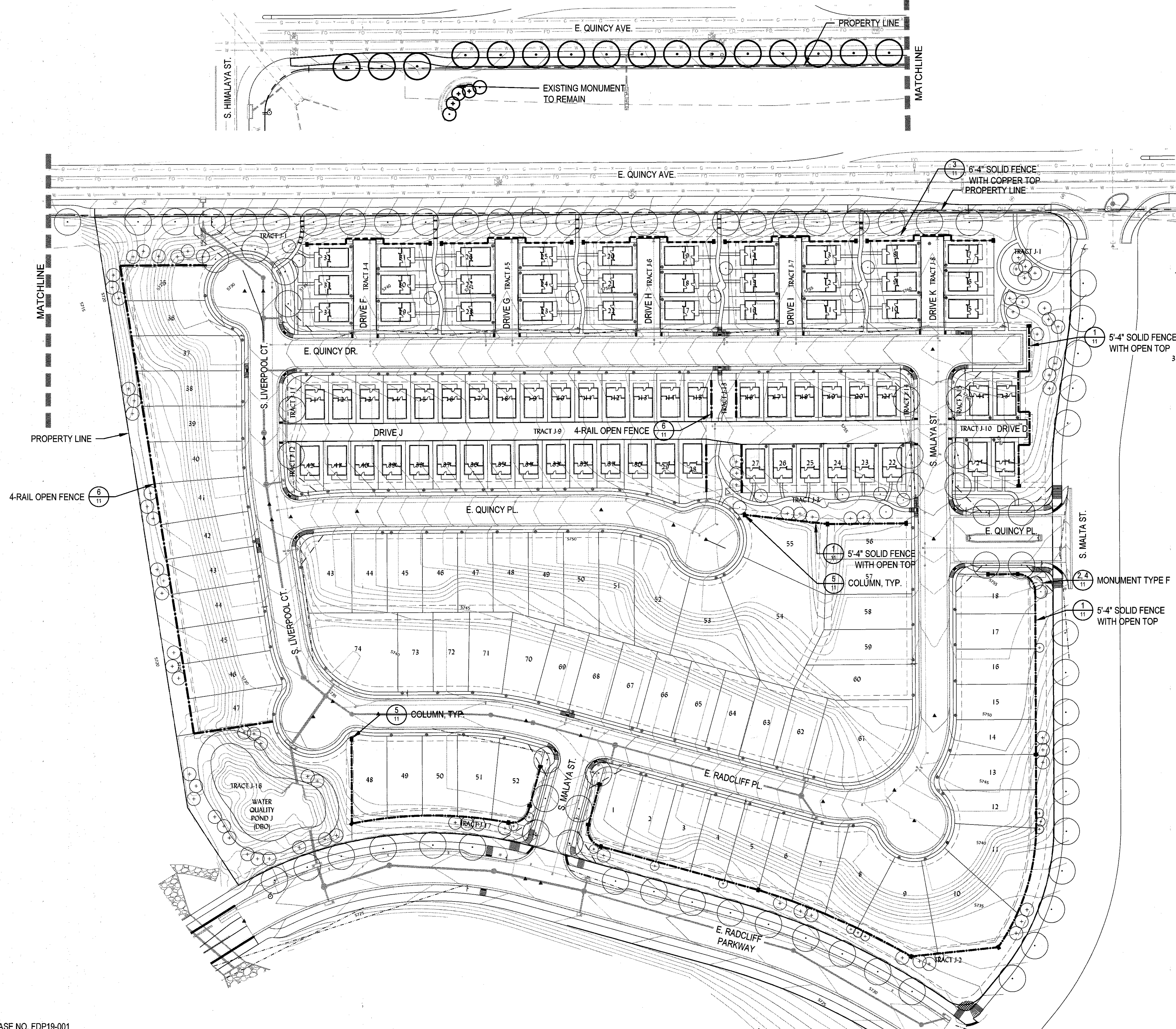
720.977.3866

Sheet: 6

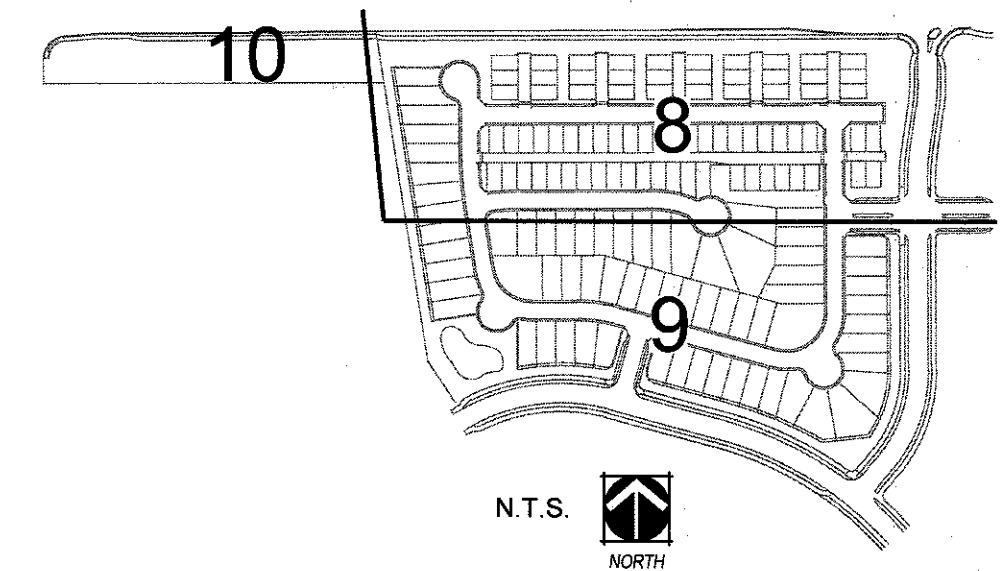
COPPERLEAF FILING NO. 22

FINAL DEVELOPEMENT PLANS

ALL OF COPPERLEAF FILING NO. 22, COUNTY OF ARAPAHOE, STATE OF COLORADO.
LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
OVERALL PLAN AND FENCING EXHIBIT
SHEET 7 OF 15

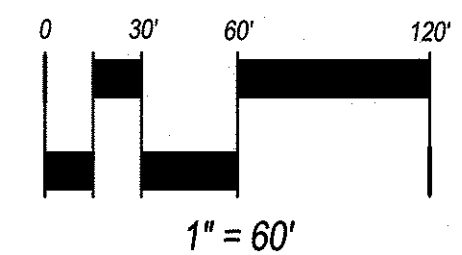


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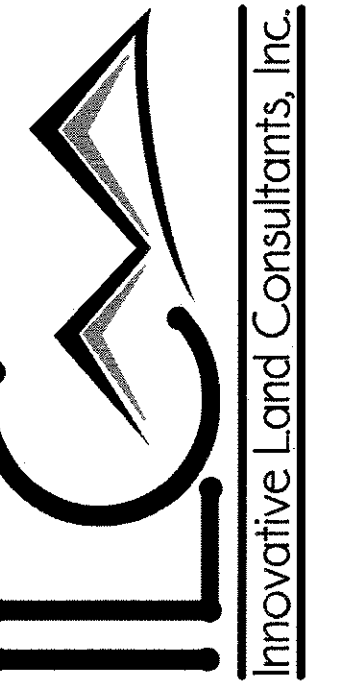


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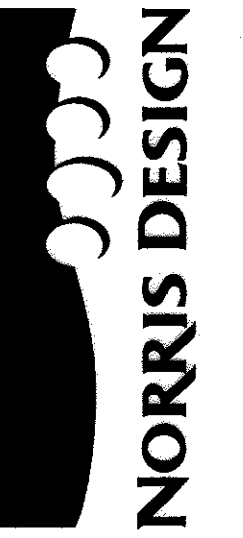
- 6-4" SOLID WOOD FENCE W/ COPPER TOP | 785.3 LF
- FOUR RAIL FENCE | 921.2 LF
- 5' OPEN FENCE | 1790.2 LF
- COLUMN | 29 TOTAL



NOTE: SEE SHEET 4 FOR EASEMENT
RECORDATION INFORMATION



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Copperleaf Filing No. 22

Arapahoe County, Colorado

Final Development Plan

OVERALL PLAN AND FENCING EXHIBIT

Proj. Name:

Location:

Plan Set:

Sheet Name:

Date:

09/12/2019

Job No.:

Approved By:

INNOVATIVE

Designed By:

NORRIS DESIGN

Horiz. Scale:

Sheet:

7 OF 15

Client:

Richmond American Homes

Address:

4530 S. Monaco St. Denver, CO

80237

Contact:

Mick Schuhmacher

720.977.3866

Sheet:

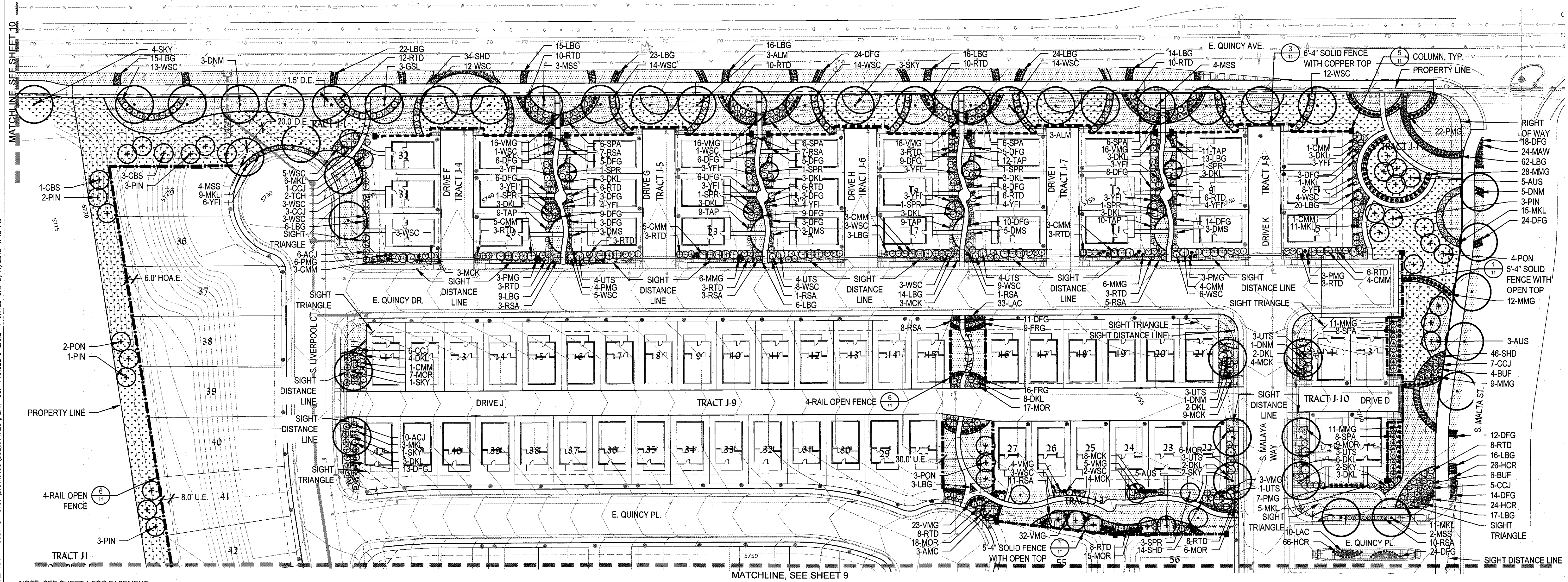
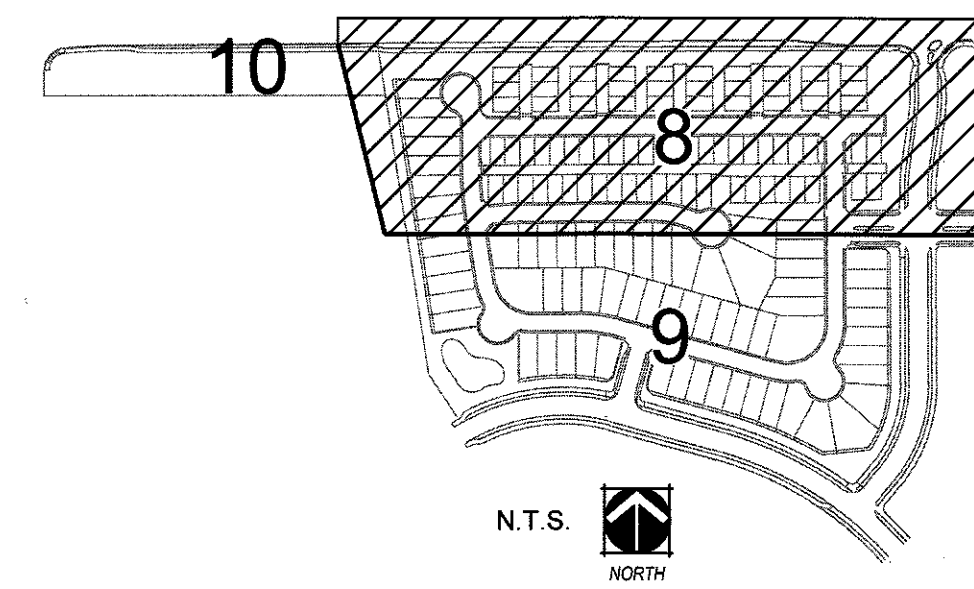
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COPPERLEAF FILING NO. 22

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LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
LANDSCAPE PLAN
SHEET 8 OF 15

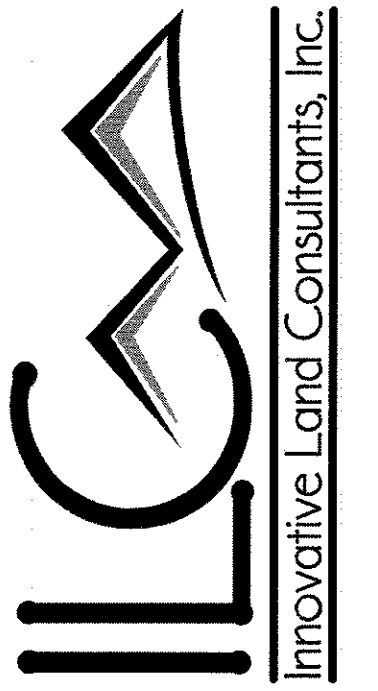
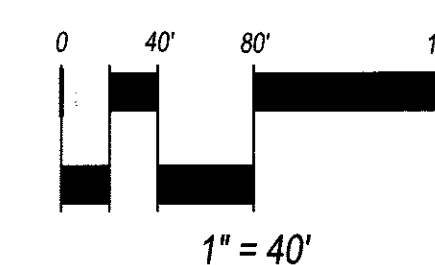
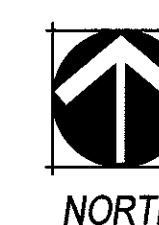
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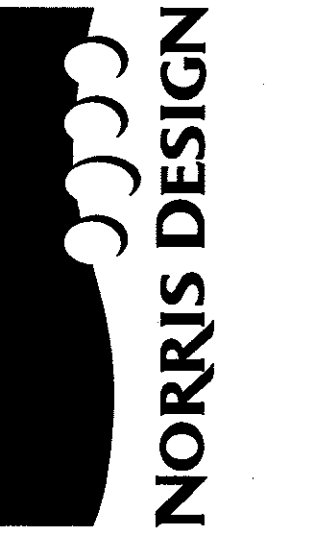
NOTE: SEE SHEET 4 FOR EASEMENT
RECORDATION INFORMATION

LEGEND

	DECIDUOUS CANOPY TREE		DECIDUOUS SHRUBS (7-9' SPRD.)		IRRIGATED DRYLAND SEED MIX	
	EVERGREEN TREE		EVERGREEN SHRUBS		SHRUB BED (ROCK MULCH)	
	DECIDUOUS ORNAMENTAL TREES		ORNAMENTAL GRASSES		COBBLE	
	DECIDUOUS SHRUBS (2-5' SPRD.)		PERENNIALS		NON-IRRIGATED SEED MIX	
	DECIDUOUS SHRUBS (5-7' SPRD.)		SOD		SIGHT TRIANGLE	
					MATCHLINE	



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Copperleaf Filing No. 22
Arapahoe County, Colorado
Final Development Plan
LANDSCAPE PLAN

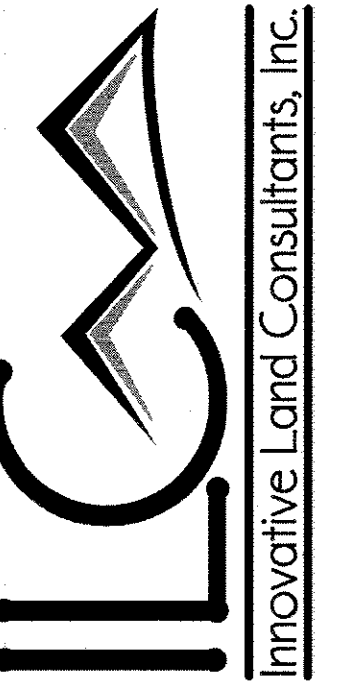
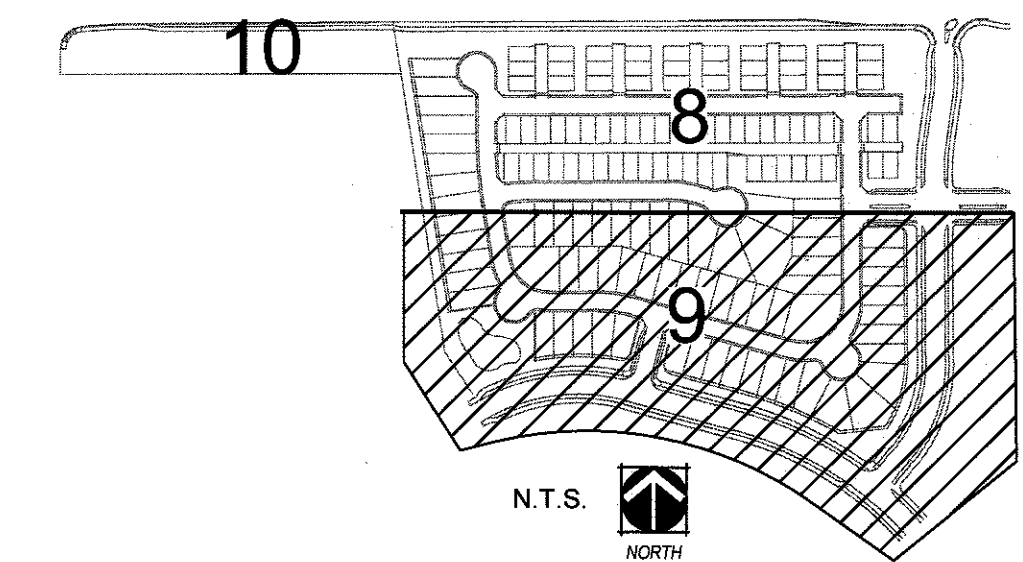
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Location: Arapahoe County, Colorado
Plan Set: Final Development Plan
Sheet Name: LANDSCAPE PLAN
Date: 09/12/2019
Job No.:
Approved By: INNOVATIVE
Designed By: NORRIS DESIGN
Horiz. Scale:
Sheet: 8 OF 15
Client: Richmond American Homes
Address: 4530 S. Monaco St., Denver, CO 80237
Contact: Mick Schuhmacher
720.977.3866
Sheet: 8

COPPERLEAF FILING NO. 22

FINAL DEVELOPEMENT PLANS

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LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF
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LANDSCAPE PLAN
SHEET 9 OF 15

KEYMAP



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Copperleaf Filing No. 22

Arapahoe County, Colorado

Final Development Plan

LANDSCAPE PLAN

Prop. Name:

Location:

Plan Set:

Sheet Name:

Date:

09/12/2019

Job No.:

Approved By: INNOVATIVE

Designed By: NORRIS DESIGN

Horiz. Scale:

Sheet: 9 OF 15

Client:

Richmond American Homes

Address:

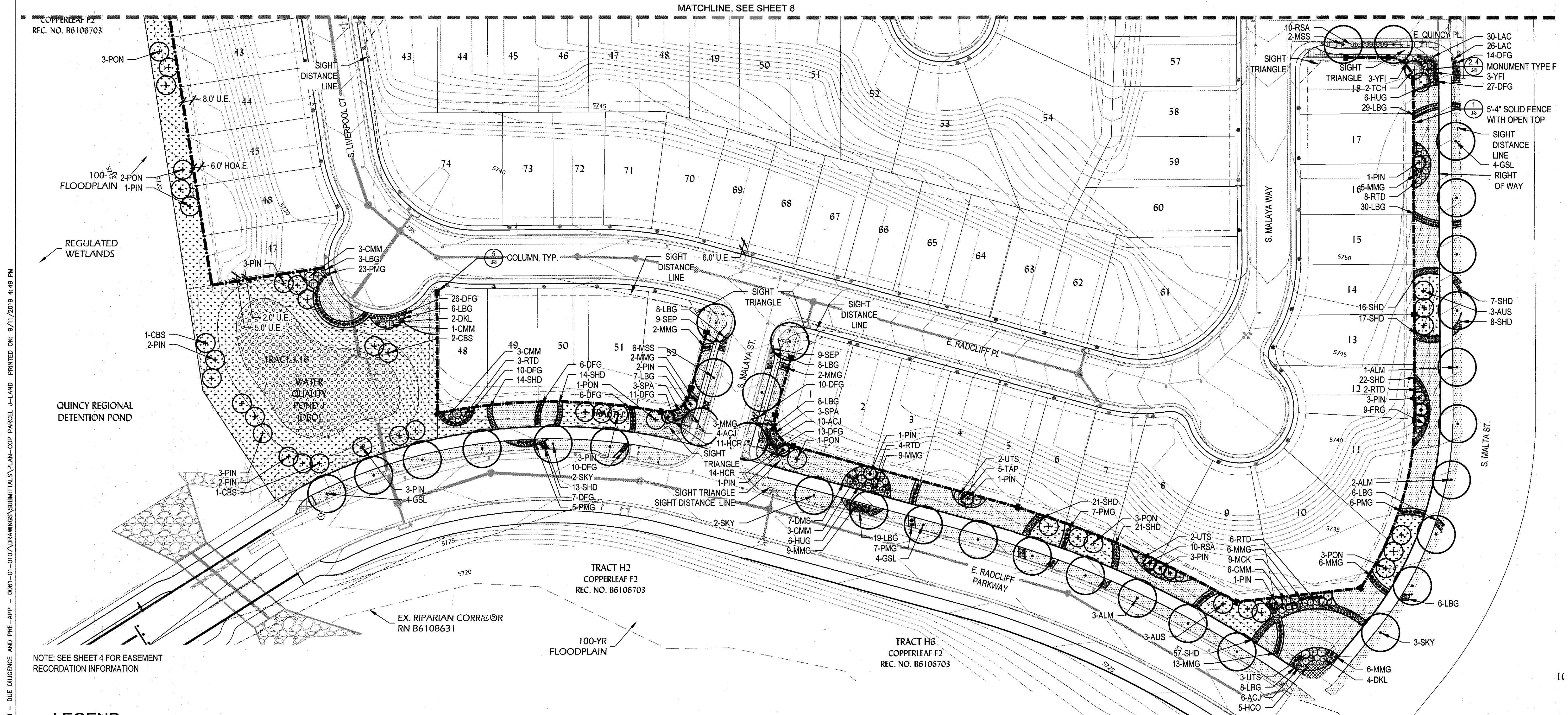
4530 S. Monaco St., Denver, CO 80237

Contact:

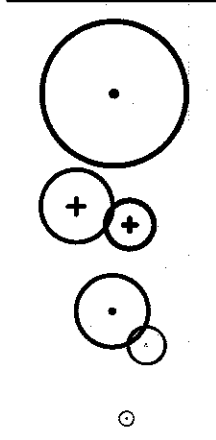
Mick Schuhmacher

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Sheet: 9



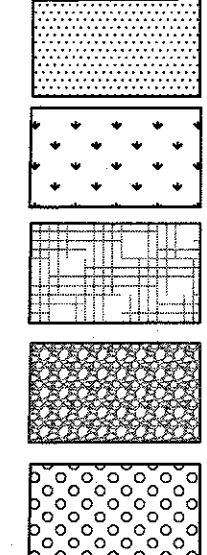
LEGEND



DECIDUOUS CANOPY TREE
EVERGREEN TREE
DECIDUOUS ORNAMENTAL TREES
DECIDUOUS SHRUBS (2-5' SPRD.)

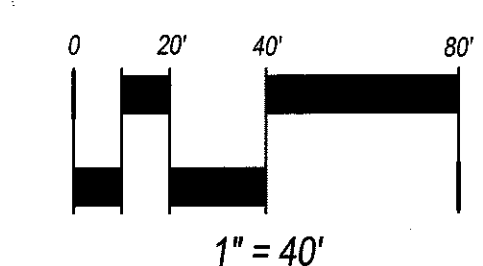


DECIDUOUS SHRUBS (6-7' SPRD.)
DECIDUOUS SHRUBS (7-9' SPRD.)
EVERGREEN SHRUBS
ORNAMENTAL GRASSES
PERENNIALS



SOD
IRRIGATED DRYLAND SEED MIX
SHRUB BED (ROCK MULCH)
COBBLE
NON-IRRIGATED SEED MIX

5'-4" SOLID FENCE W/ OPEN TOP
6'-4" SOLID FENCE W/ COPPER TOP
4-RAIL OPEN FENCE
COLUMN
SIGHT TRIANGLE
SIGHT DISTANCE LINE
MATCHLINE

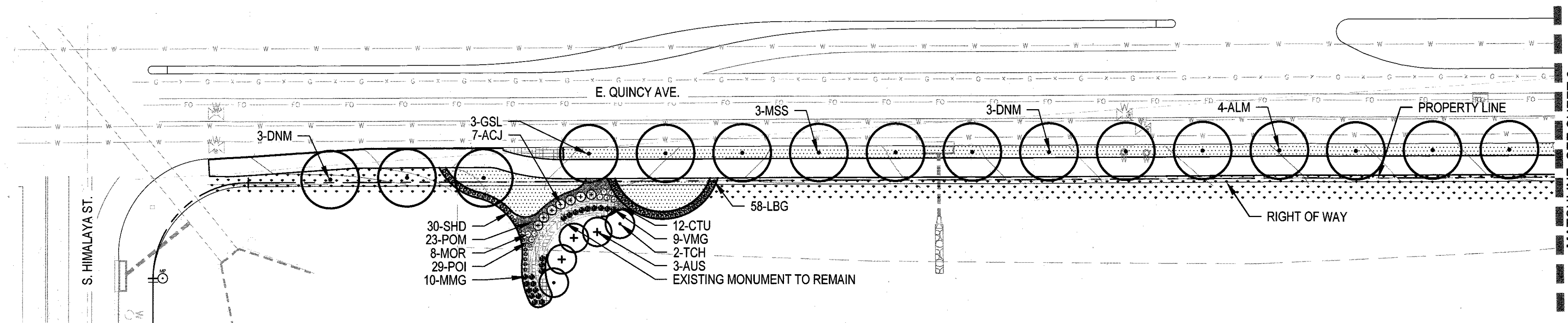
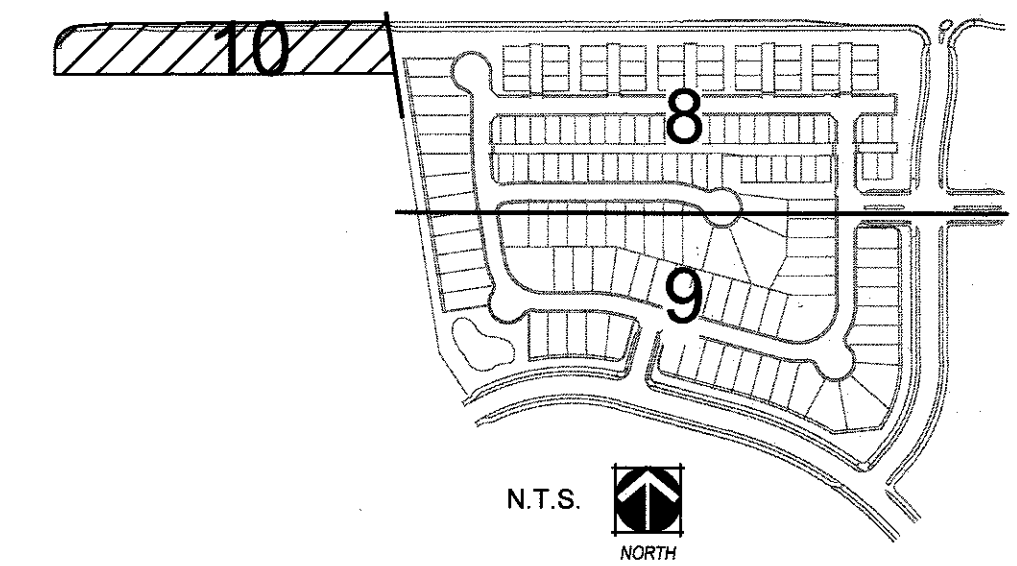


COPPERLEAF FILING NO. 22

FINAL DEVELOPEMENT PLANS

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THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
LANDSCAPE PLAN
SHEET 10 OF 15

KEYMAP

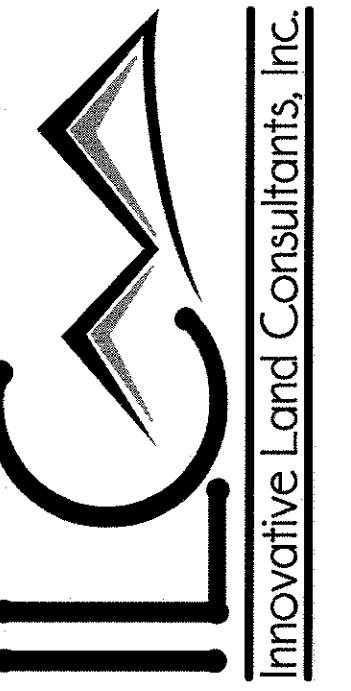
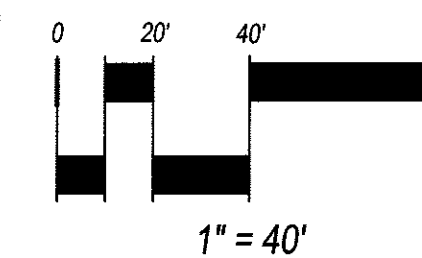


NOTE: CONTRACTOR TO CONFIRM WITH UTILITY COMPANY
THAT TREES ARE COMPATIBLE WITH THIS TREE LAWN

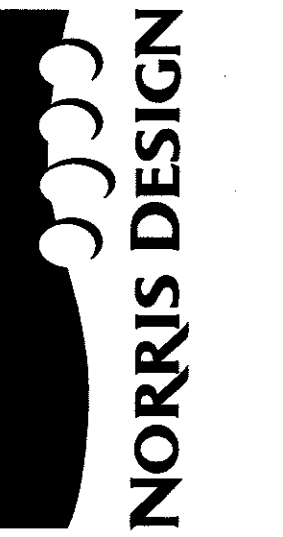
NOTE: SEE SHEET 4 FOR EASEMENT
RECORDATION INFORMATION

LEGEND

	DECIDUOUS CANOPY TREE		DECIDUOUS SHRUBS (5-7' SPRD.)		SOD		5'-4" SOLID FENCE W/ OPEN TOP
	EVERGREEN TREE		DECIDUOUS SHRUBS (7-9' SPRD.)		IRRIGATED DRYLAND SEED MIX		6'-4" SOLID FENCE W/ COPPER TOP
	DECIDUOUS ORNAMENTAL TREES		EVERGREEN SHRUBS		SHRUB BED (ROCK MULCH)		4-RAIL OPEN FENCE
	DECIDUOUS SHRUBS (2-5' SPRD.)		ORNAMENTAL GRASSES		COBBLE		COLUMN
			PERENNIALS		NON-IRRIGATED SEED MIX		SIGHT TRIANGLE
							SIGHT DISTANCE LINE
							MATCHLINE



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303.421.4224
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P 303.882.1166
F 303.882.1166
www.norris-design.com

Copperleaf Filing No. 22
Arapahoe County, Colorado
Final Development Plan
LANDSCAPE PLAN

Proj. Name:
Location:
Date: 09/12/2019

Job No.:
Approved By: INNOVATIVE

Designed By: NORRIS DESIGN

Horiz. Scale:

Sheet: 10 OF 15

Client:

Richmond American Homes

Address:

4530 S. Monaco St., Denver, CO 80237

Contact:
Mick Schuhmacher
720.977.3866

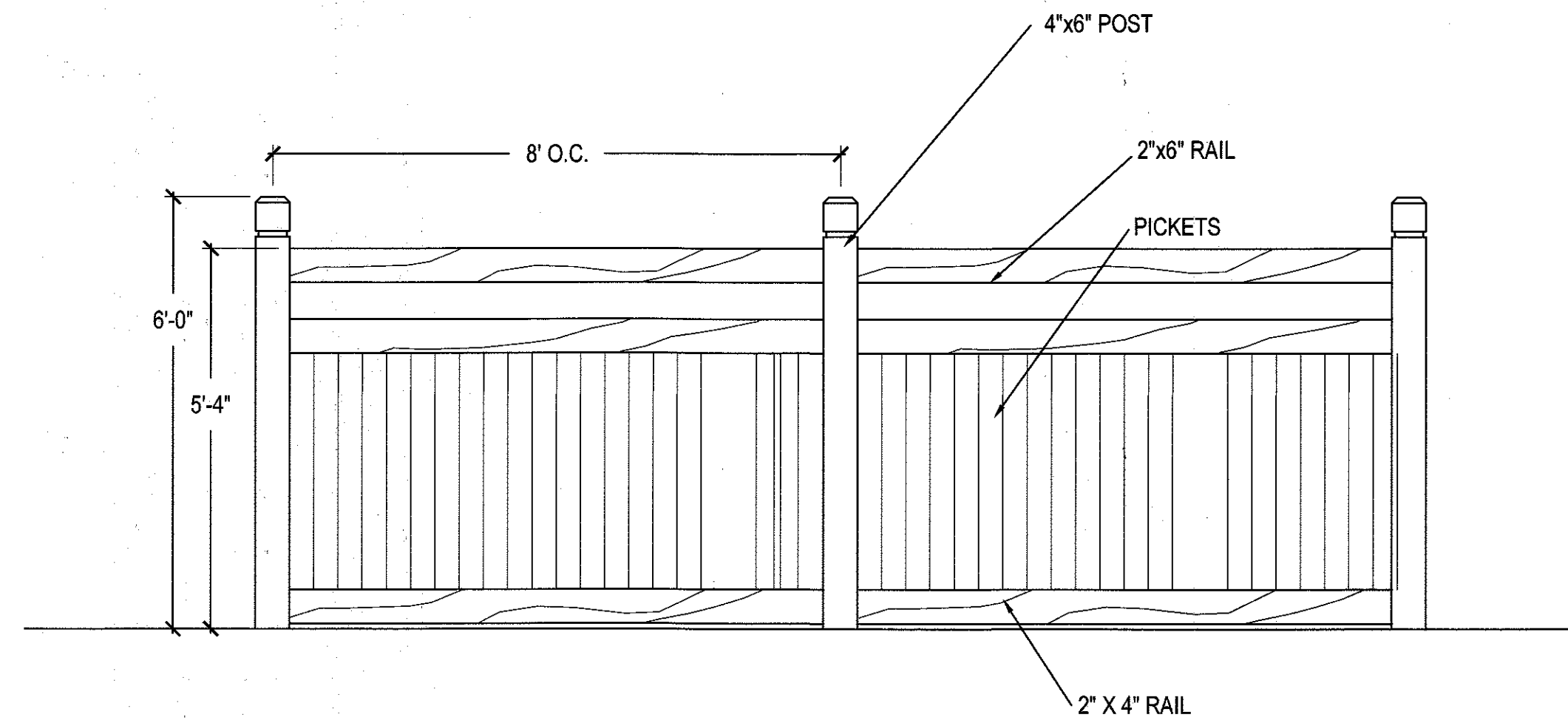
Sheet: 10

COPPERLEAF FILING NO. 22

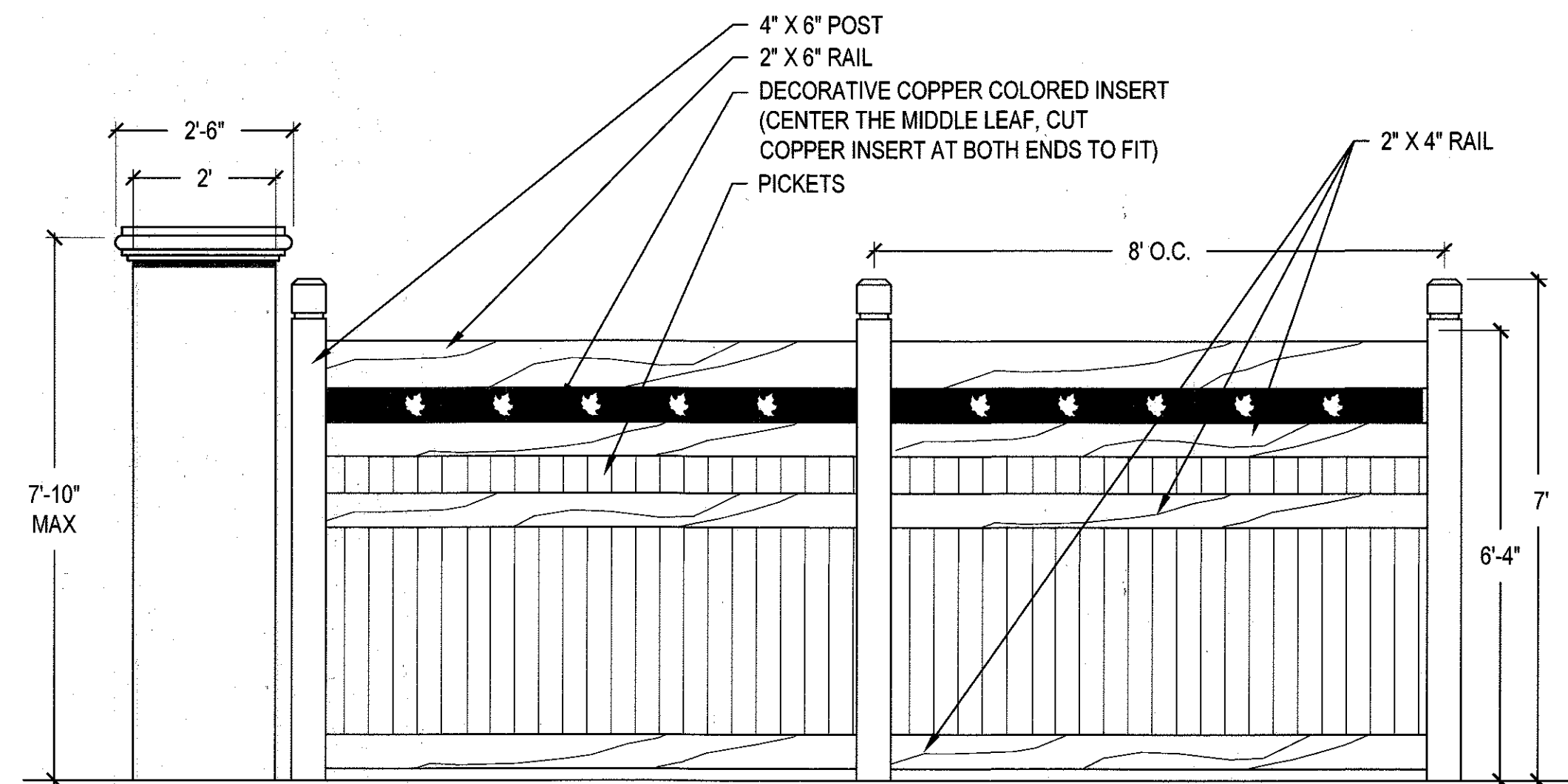
FINAL DEVELOPEMENT PLANS

ALL OF COPPERLEAF FILING NO. 22, COUNTY OF ARAPAHOE, STATE OF COLORADO.
LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO

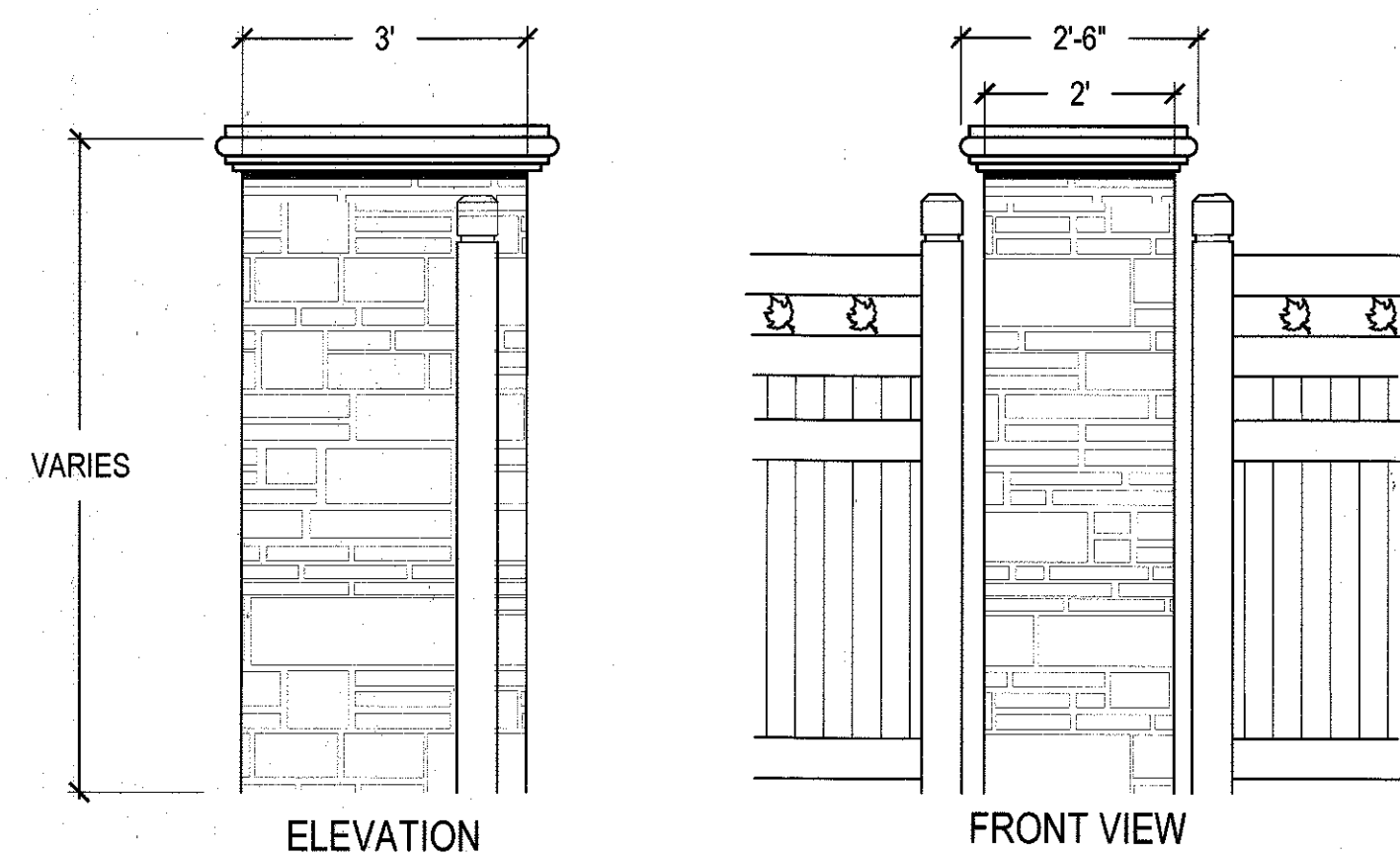
LANDSCAPE DETAILS
SHEET 11 OF 15



1 5' - 4" SOLID FENCE WITH OPEN TOP DETAIL
SCALE: 1" = 2'



3 6' - 4" SOLID FENCE WITH COPPER TOP DETAIL
SCALE: 1" = 2'



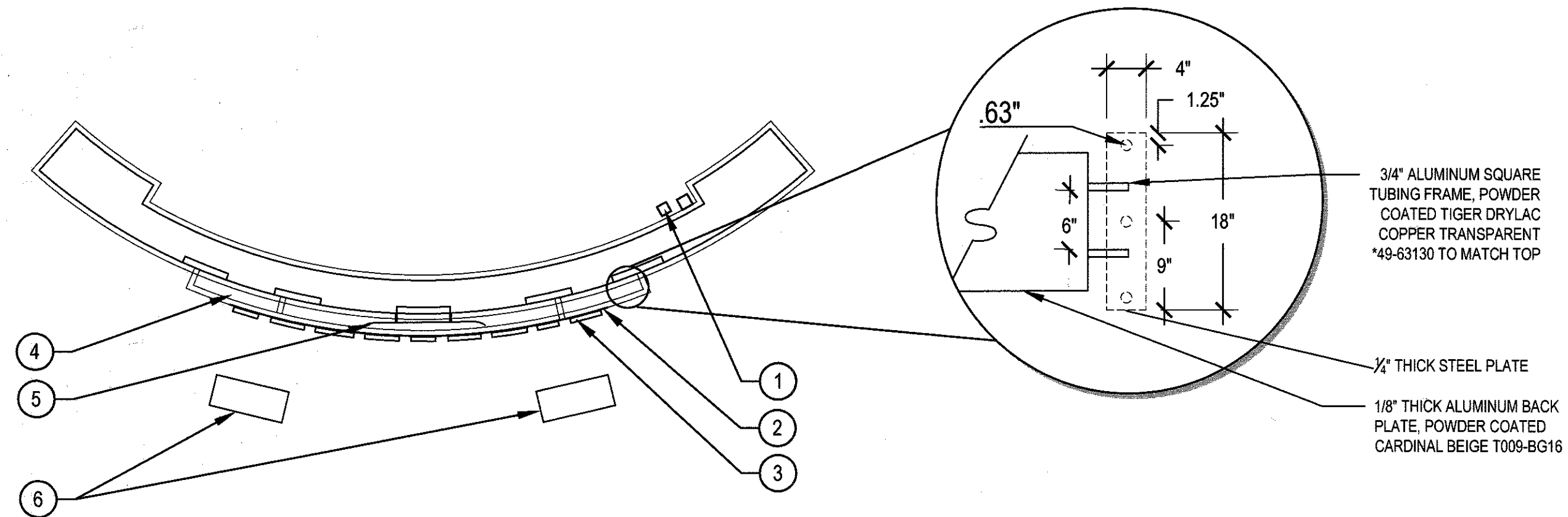
5 PLACEMENT OF FENCE COLUMN IN RELATION TO FENCE
SCALE: 1" = 2'

GENERAL NOTES

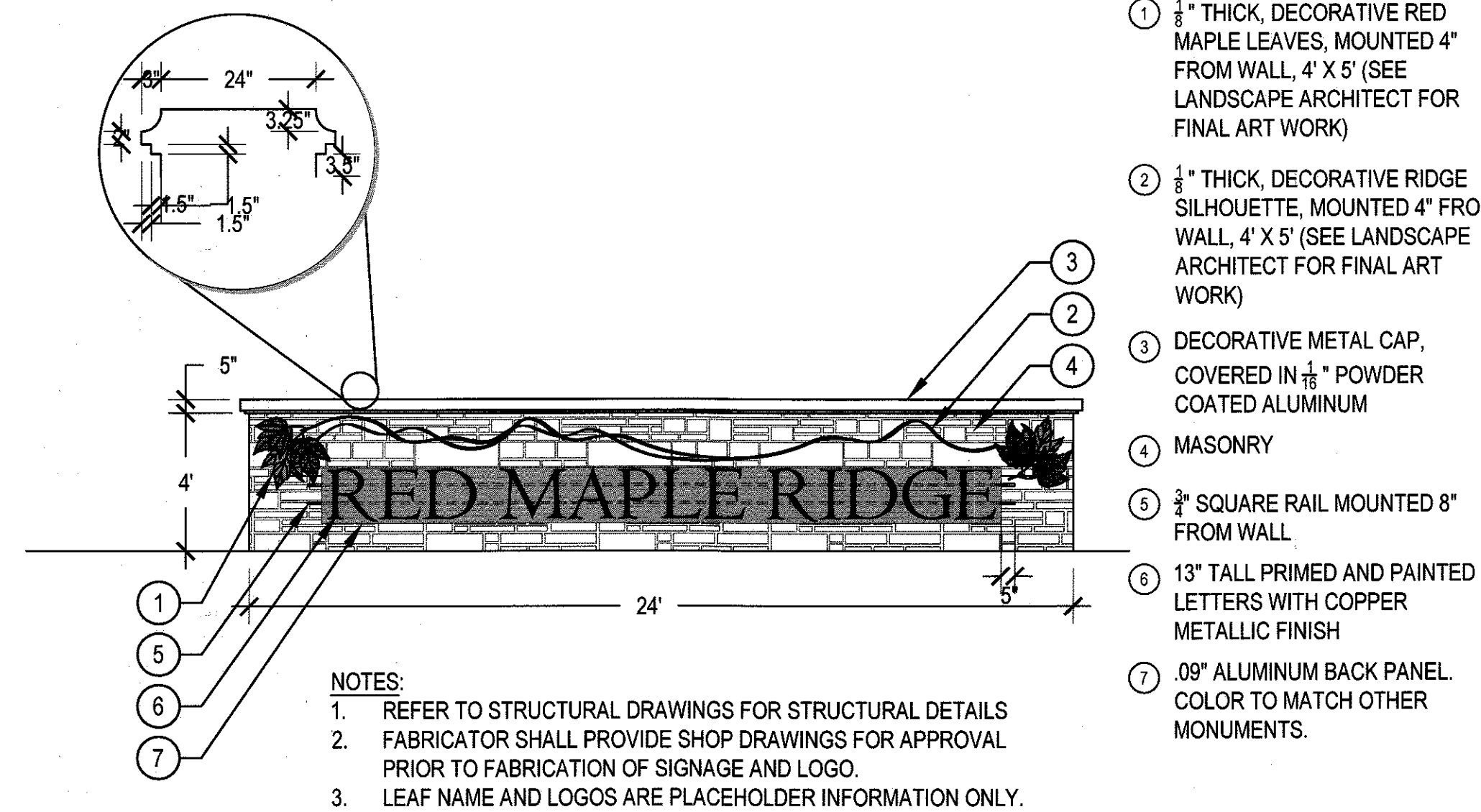
1. STONE FOR THE MONUMENTS AND COLUMNS WILL BE FROM SUNSET STONE COMPANY, AND THE COLOR WILL BE LIMESTONE - NATURAL OR APPROVED EQUAL.
2. THE FENCE WILL BE STAINED OR PAINTED WITH A SEMI-TRANSPARENT COLOR BY SHERWIN WILLIAMS, OR APPROVED EQUAL, TO COMPLEMENT THE STONE IN THE COLUMNS AND MONUMENTS.
3. THE FENCES WILL ABIDE BY THE BUILDING DEPARTMENT REGULATIONS.
4. GAPS/CHANNELS WILL BE DESIGNED ACCORDING TO FINAL GRADING TO ALLOW FOR PROPER DRAINAGE THROUGH THE WALL.

MONUMENT AND FAUX STONE COLOR NOTES

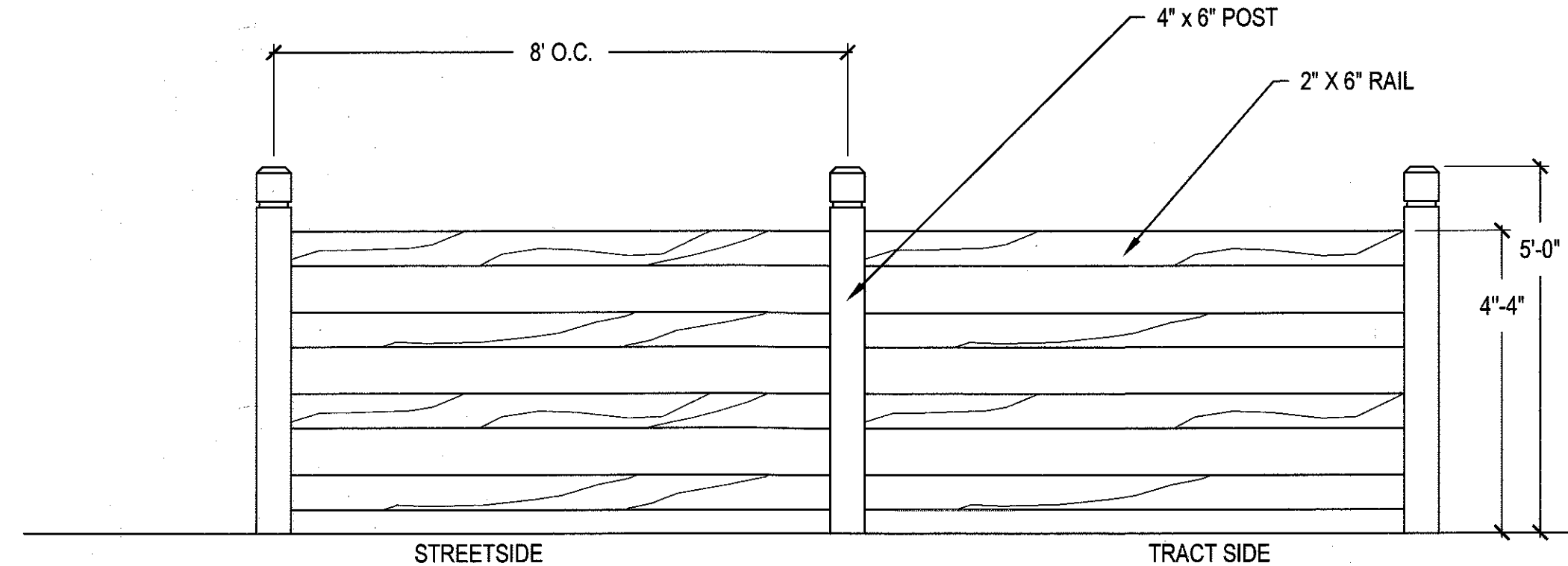
1. STONE TYPE: SUNSET STONE "LIMESTONE NATURAL" OR APPROVED EQUAL.
2. DECORATIVE METAL CAPS WILL BE LOLLYPOP TANGELO OVER SUNBEAM GOLD, OR APPROVED EQUAL, TO MATCH PAINT COLOR AND FINISH USED ON OTHER MONUMENTS IN COPPERLEAF.



2 COMMUNITY ENTRY MONUMENT F PLAN VIEW
SCALE: 3" = 1'-0"



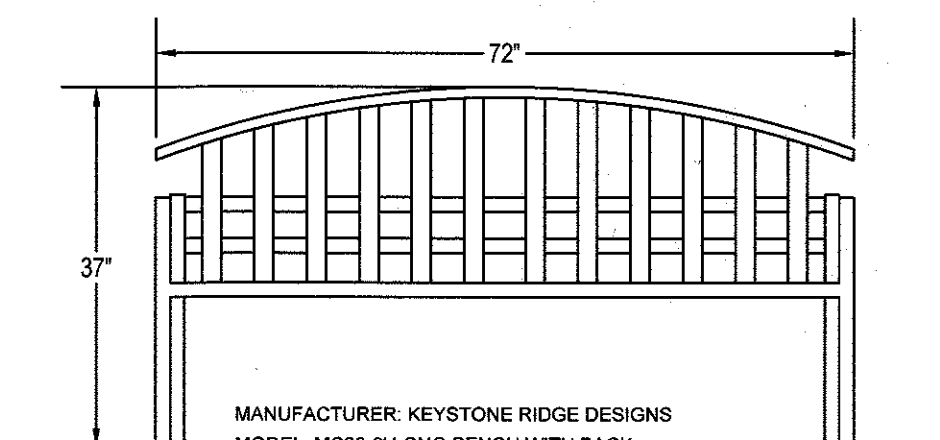
4 COMMUNITY ENTRY MONUMENT F ELEVATION
SCALE: 3" = 1'-0"



6 FOUR RAIL FENCE DETAIL
SCALE: 1" = 2'

- 1 (2) GFI OUTLETS
- 2 .09" ALUMINUM BACK PANEL. COLOR TO MATCH OTHER MONUMENTS.
- 3 1" PIN MOUNTED 3/4" THICK ALUMINUM POWDER COATED (COLOR TO BE SELECTED BY DEV / L.A.) NAME CENTERED ON 3/4" BAR.
- 4 3/4" SOLID SQUARE RAIL
- 5 ALUMINUM PRIMED AND CUSTOM PAINTED LEAVES WITH COPPER METALLIC FINISH, MOUNTED 4" OFF ROCK FACE, CENTERED VERTICALLY AND HORIZONTALLY ON LEFT SIDE BETWEEN END OF MONUMENT AND LETTERS
- 6 UPLIGHTING

NOTES:
1. LOCATE ALL ELECTRICAL EQUIPMENT ON BACK OF WALL.

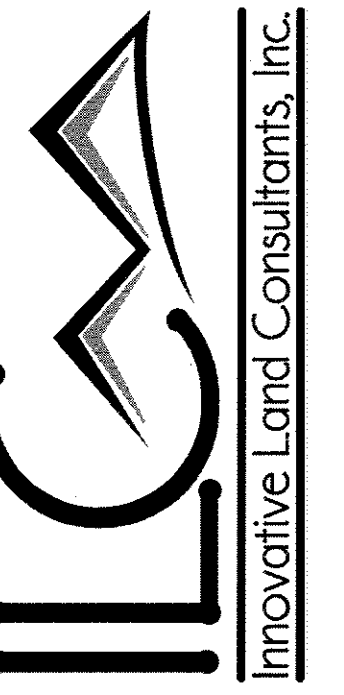


MANUFACTURER: KEYSTONE RIDGE DESIGNS
MODEL: MC26-6' LONG BENCH WITH BACK
COLOR: TIGER DRYLAC 49/63130
INSTALLATION: PER MANUFACTURER'S SPECIFICATIONS (SURFACE MOUNT)
CONTACT: KEYSTONE RIDGE DESIGNS
PHONE #: 1-800-284-8208
QUANTITY: 3 TOTAL

7 BENCH
NOT TO SCALE



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Copperleaf Filing No. 22

Arapahoe County, Colorado

Final Development Plan

LANDSCAPE DETAILS

Proj. Name:

Location:

Plan Set:

Sheet Name:

Date:

09/12/2019

Job No.:

Approved By: INNOVATIVE

Designed By: NORRIS DESIGN

Horiz. Scale:

Sheet: 11 OF 15

Client:

Richmond American Homes

Address:

4530 S. Monaco St., Denver, CO

80237

Contact:

Mick Schuhmacher

720.977.3866

Sheet: 11

P:\COPPERLEAF - 0000-01--0000\COPPERLEAF - PARCEL J - DUE DILIGENCE AND PRE-APP - 0061-01-0107\DRAWINGS\SUBMITTALS\PLAN-COP PARCEL J-LAND PRINTED ON: 9/11/2019 4:49 PM

ARAPAHOE COUNTY CASE NO. FDP19-001

1. INTRODUCTION

1.1. DESIGN STANDARDS PURPOSE AND INTENT

1.1.1. OVERVIEW

- A. MINOR AMENDMENTS TO THESE DESIGN STANDARDS THAT DO NOT MODIFY THE INTENT BUT RATHER CLARIFY AMBIGUITY OR OVERSIGHTS, MAY BE ADMINISTRATIVELY APPROVED BY THE PLANNING DIVISION MANAGER ON A CASE-BY-CASE BASIS.

1.2. ROLE OF THE MASTER DEVELOPER

- 1.2.1. THE MASTER DEVELOPER FOR THE COPPERLEAF COMMUNITY WILL ESTABLISH COVENANTS, CODES AND RESTRICTIONS. THIS WILL DEFINE THE DESIGN REVIEW PROCESS. COMMITTEE MEMBERS, INCLUDING THE MASTER DEVELOPER, WILL REVIEW AND APPROVE ALL PLANS PRIOR TO SUBMITTAL FOR REVIEW AND APPROVAL BY ARAPAHOE COUNTY.

1.3. ADDITIONAL DOCUMENTS

- 1.3.1. ADDITIONAL DOCUMENTS THAT MAY CONTAIN REGULATIONS REGARDING THE DESIGN AND DEVELOPMENT OF COPPERLEAF INCLUDE BUT ARE NOT LIMITED TO, ALL APPLICABLE ARAPAHOE COUNTY CODES, COPPERLEAF DEVELOPMENT AGREEMENT, COPPERLEAF PRELIMINARY DEVELOPMENT PLANS, AND COPPERLEAF HOMEOWNER'S ASSOCIATION COVENANTS, CODES, AND RESTRICTIONS.

2. RESIDENTIAL DEVELOPMENT STANDARDS

2.1. SINGLE-FAMILY DETACHED

2.1.1. SINGLE FAMILY DETACHED LOTS

- A. THE FOLLOWING LIST DESCRIBES MANY POSSIBLE LOT CONFIGURATIONS. NOT ALL OPTIONS DESCRIBED ARE REQUIRED TO BE BUILT IN COPPERLEAF. OTHER CONFIGURATIONS NOT SHOWN MAY BE ALLOWED IF THE LOT CONFIGURATION MEETS DENSITY AND LOT SIZE REQUIREMENTS. OTHER CONFIGURATIONS MAY REQUIRE A MINOR FDP AMENDMENT.

B. HOMES LOCATED ON PUBLIC STREETS

- a. STREET-LOADED GARAGE AT FRONT OF LOT
1. ATTACHED, FRONT ENTRY
 2. ATTACHED, SIDE ENTRY
 3. DETACHED, FRONT ENTRY
 4. DETACHED, SIDE ENTRY
 5. ATTACHED, FRONT ENTRY, TANDEM

2.1.2. SINGLE FAMILY DETACHED DESIGN STANDARDS

A. ALL SINGLE FAMILY DETACHED HOMES

- a. THE COVENANTS MUST STATE THAT THE GROUND FLOOR OF THE GARAGE MAY NEVER BE CONVERTED INTO LIVING SPACE.

B. HOMES LOCATED ON PUBLIC STREETS

a. STREET-LOADED GARAGE AT FRONT OF LOT

1. MINIMUM DRIVEWAY WIDTH OF 16 FEET, 10 FEET FOR TANDEM DRIVEWAY. FOR DRIVEWAYS IN EXCESS OF 20 FEET IN LENGTH, THE DRIVEWAY MAY TAPER TO 10 FEET AT THE PROPERTY LINE AS LONG AS THE PORTION OF THE DRIVEWAY AT THE GARAGE IS 16 FEET WIDE FOR A DISTANCE OF 20 FEET.
2. DRIVEWAY MAY BE LOCATED ON THE PROPERTY LINE EXCEPT WHERE DRAINAGE, ABOVE GROUND UTILITY APPURTENANCES, BASEMENTS, GARAGES, OR OTHER SITE CONDITIONS PREVENT IT.
3. EVERY BUILDER SHALL BE REQUIRED TO ALTERNATELY LOAD 3 HOMES WITHIN A 10 HOME STRETCH IN ACCORDANCE TO THE FOLLOWING:
 - a. IF THERE IS A CONTINUOUS STRETCH OF A MAXIMUM OF 9 HOMES THERE IS NO REQUIREMENT FOR ALTERNATELY LOADED GARAGES.
 - b. IF THERE IS A CONTINUOUS STRETCH OF 10 OR MORE HOMES AT LEAST 3 HOMES MUST BE ALTERNATELY LOADED UNLESS:
 - a. THE STREET CENTERLINE RADIUS IS 300 FEET OR LESS FOR THE FRONTAGE OF AT LEAST 3 HOMES OF EVERY 10.
 - b. THERE ARE FEWER THAN 10 HOMES ON A BLOCK FACE.
 - c. THE CONTINUOUS STRETCH OF HOMES IS DIVIDED BY AN INTERSECTING STREET.
 - d. THE CONTINUOUS STRETCH OF HOMES IS DIVIDED BY A LANDSCAPE TRACT OF AT LEAST 50 FEET IN WIDTH.
4. MAINTENANCE OF FRONT YARD LANDSCAPING, INCLUDING CORNER SIDE YARDS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL HOMEOWNER UNLESS OTHERWISE SPECIFIED BY THE HOA.

3. ARCHITECTURAL STANDARDS

3.1. RESIDENTIAL ARCHITECTURAL STANDARDS

3.1.1. STANDARDS APPLICABLE TO SINGLE FAMILY DETACHED

THE INTENT OF THESE STANDARDS IS TO PROVIDE A DISTINCTIVE RECOGNIZABLE STYLE OF HIGH-QUALITY ARCHITECTURAL CHARACTER IN RESIDENTIAL DEVELOPMENTS, THAT AVOIDS FEATURELESS DESIGN AND REPETITION OF FACADES.

THE DESIGN OF INDIVIDUAL RESIDENTIAL BUILDINGS AND GROUPS OF BUILDINGS SHOULD EMPLOY A VARIETY OF DESIGN FEATURES, SUCH AS WALL AND ROOF MASSING, TEXTURED SURFACES, BAY WINDOWS, THE CREATION OF SHADOW LINES, A VARIED COLOR PALETTE, WINDOW PATTERNS, HISTORICAL REFERENCE, AND SIMILAR RESIDENTIAL ARCHITECTURAL DEVICES TO AVOID THE CREATION OF MONOTONOUS RESIDENTIAL NEIGHBORHOODS AND STREETSCAPES.

3.1.2. SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS

A. STYLES ALLOWED -

- a. CRAFTSMAN
- b. CLASSICAL COTTAGE
- c. COLONIAL
- d. VICTORIAN
- e. FRENCH COUNTRY MANOR
- f. PRAIRIE SCHOOL
- g. CAPE COD
- h. TUDOR
- i. AMERICAN FARMHOUSE
- j. SHINGLE STYLE
- k. COLORADO CONTEMPORARY

3.1.3. THE FOLLOWING MENU IS A SUGGESTED LIST OF DESIGN ELEMENTS WHICH ARE ENCOURAGED TO BE INCORPORATED INTO SINGLE-FAMILY DETACHED DWELLING UNITS:

- A. A NON-REPETITIVE FRONT ELEVATION DESIGN WOULD PREVENT A MONOTONOUS STREETSCAPE FROM OCCURRING. VARIED ARCHITECTURAL STYLES SHALL BE ENCOURAGED, WHICH INCORPORATE A MIXTURE OF DIFFERENT FOOTPRINTS, THE USE OF A CHANGE IN MATERIALS, DESIGN AND/OR COLOR, CAN ALSO RELIEVE A MONOTONOUS DESIGN THEME.
- B. SIGNIFICANTLY VARYING THE FRONT SETBACK OF RESIDENCES, WITHIN A RESIDENTIAL DEVELOPMENT, WILL FURTHER PREVENT A MONOTONOUS 'COOKIE CUTTER' APPEARANCE.
- C. WHERE PROVIDED, PORCH AND DECK COLUMNS AND ROOFS SHOULD BE INTEGRATED INTO THE OVERALL DESIGN OF THE HOUSE TO WHICH THEY ARE ATTACHED, AND ARE RECOMMENDED TO BE CONSTRUCTED OF MATERIALS CONSISTENT WITH THOSE FOUND ELSEWHERE ON THE HOUSE. FRONT OR SIDE PORCHES ADD TO THE ARCHITECTURAL AMBIANCE OF A NEIGHBORHOOD.
- D. GARAGES SHOULD NOT OBSTRUCT THE FRONT ENTRANCE TO THE RESIDENCE. A CLEAR AND IDENTIFIABLE WALKWAY TO THE FRONT ENTRANCE OF THE RESIDENCE WOULD BE A BENEFICIAL FEATURE. GARAGES MAY BE ATTACHED, DETACHED, FRONT-LOADED, SIDE-LOADED, OR TO THE SIDE OF THE RESIDENCE. DETACHED GARAGES SHOULD BE FACED WITH THE SAME MIX AND PERCENTAGE OF MATERIALS AS THE PRIMARY STRUCTURES.
- E. ROOFS WITH EAVES/OVERHANGS, DECORATIVE BRACKETS, BEAMS, OR EXPOSED RAFTER ENDS ARE ENCOURAGED. A 20-YEAR MINIMUM WARRANTY FOR ROOFING MATERIALS IS REQUIRED.
- F. DECORATIVE SHUTTERS, WINDOW DORMERS, BAY WINDOWS, OVERSIZED DECORATIVE WINDOW HEADS OR WINDOW SILLS THAT MATCH THE BUILDING ARE ENCOURAGED TO BE PROVIDED.
- G. WALK-OUT BASEMENTS.
- H. CLAY OR CONCRETE TILE ROOFS. WOOD SHAKE ROOFS ARE NOT ALLOWED.
- I. FRONT DOORS WITH TRANSOM WINDOWS, SIDE LIGHTS, OR A DOUBLE DOOR.
- J. DURABLE PATTERNED PAVING.
- K. REAL OR SIMULATED CHIMNEYS.
- L. MATERIALS SELECTED SHOULD HAVE AESTHETIC VALUES, BE LONG-LASTING, AND HAVE COLOR DURABILITY.
- M. THE ARCHITECTURAL CHARACTER OF THE RESIDENCE SHOULD BE INCORPORATED INTO ANY ACCESSORY STRUCTURES' DESIGN.
- N. PERMANENT FOUNDATIONS ARE REQUIRED FOR EACH PRINCIPAL STRUCTURE.
- O. SOFT OUTDOOR PEDESTRIAN-ORIENTED LIGHTING AT A HUMAN SCALE, IN CONFORMANCE WITH THE LIGHTING STANDARDS IN THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE, IS ENCOURAGED. LIGHTING SHOULD BE DESIGNED TO ENSURE THE SAFETY OF THE RESIDENTS, WHILE MINIMIZING OVERFLOW ONTO THE SURROUNDING PROPERTIES. LIGHTING SHOULD BE SHIELDED FOR GLARE.
- P. ENERGY EFFICIENCY IS ENCOURAGED THROUGH THE TYPES OF BUILDING CONSTRUCTION, MATERIALS USED FOR INSULATION, ROOFING/WINDOW MATERIALS, ORIENTATION OF THE BUILDING AND USE OF LANDSCAPING FOR SHADING.
- Q. THE BUILDER WILL PROVIDE FRONT YARD LANDSCAPING FOR ALL HOMES.
- R. CREATIVITY OF BUILDING AND SUBDIVISION DESIGN IS GREATLY ENCOURAGED.

3.1.4. BUILDING FACADE

EXTERNAL DETAILS IN BUILDING FACADES, ENTRIES, STAIRWAYS, RETAINING WALLS AND OTHER FEATURES PROVIDE VISUAL INTEREST, ENRICHMENT AND TEXTURE TO BUILDINGS. COPPERLEAF WILL INCORPORATE THE USE OF STRONG VERTICAL AND/OR HORIZONTAL REVEALS, OFF-SETS, AND THREE DIMENSIONAL DETAIL BETWEEN SURFACE PLANES TO CREATE SHADOW LINES AND BREAK UP FLAT SURFACE AREAS. IF LARGE BLANK SURFACES ARE PROPOSED, THEY SHOULD BE FOR SOME COMPELLING DESIGN PURPOSE. THE DESIGN SHOULD INCORPORATE MITIGATING FEATURES TO ENRICH THE APPEARANCE OF THE PROJECT, AND PROVIDE A SENSE OF HUMAN SCALE AT THE GROUND LEVEL THAT IS INVITING TO THE PUBLIC.

REAR BUILDING ELEVATIONS, ESPECIALLY THOSE FACING ADJOINING RESIDENTIAL AREAS, SHOULD BE AESTHETICALLY ENHANCED WITH MATERIALS TO MATCH THE FRONT OF THE BUILDING. WHERE THE REAR OF A BUILDING IS VIEWED FROM A PUBLIC RIGHT-OF-WAY OR AN ENTRYWAY INTO ANOTHER BUILDING, MORE DETAILS ON THE REAR OF A STRUCTURE MAY BE REQUIRED.

EXTERIOR SIDE YARD SETBACK AREAS (I. E., ALONG SIDE STREETS) AND BUILDING ELEVATIONS ALONG THESE SETBACKS SHOULD BE TREATED WITH THE SAME QUALITY OF DESIGN AND MATERIALS AS THE FRONT SETBACK AREA AND FRONT BUILDING ELEVATIONS.

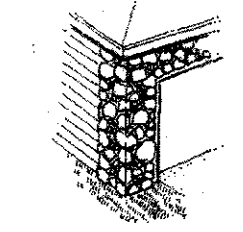
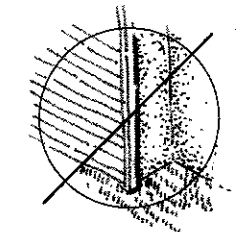
3.1.5. COLORS AND MATERIALS

MATERIALS AND COLORS IN THE VICINITY OF THE SITE SHOULD BE CONSIDERED WHEN SELECTING THE MATERIALS AND COLORS FOR THE PROPOSED DEVELOPMENT. MATERIALS AND COLORS CAN UNIFY AN AREA THROUGH THE USE OF A CLEARLY DEFINED PALETTE. COLORS AND MATERIALS CAN BE SELECTED FOR COMPATIBILITY WITH THE SITE, AS WELL AS COMPATIBILITY WITH THE NEIGHBORING AREA.

3.1.6. SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS

CATEGORY	SUB-CATEGORY	STANDARDS
REPETITIVE DESIGN		DWELLINGS PLACED ADJACENT TO OR DIRECTLY ACROSS THE STREET (SHARING 50% OR MORE STREET FRONTAGE) FROM OTHER DWELLINGS SHALL HAVE SIGNIFICANTLY DIFFERENT FRONT ELEVATIONS. FRONT ELEVATION WILL BE CONSIDERED "SIGNIFICANTLY DIFFERENT" FROM ONE ANOTHER IF AT LEAST 2 OF THE FOLLOWING 8 DESIGN CONDITIONS ARE MET: <ol style="list-style-type: none">1. THE LOCATION OF AT LEAST 50% OF THE WINDOWS AND DOORS DIFFER BY ONE FOOT OR MORE2. THE SHAPE OF AT LEAST TWO WINDOW DORMERS AND/OR WINDOW BAYS DIFFER BY TWO FEET OR MORE3. THE SHAPE OF AT LEAST TWO GABLE ENDS DIFFER BY TWO FEET OR MORE4. THE SHAPE OF PORCHES AND/OR OTHER SIMILAR PROJECTING DESIGN ELEMENTS DIFFER BY TWO FEET OR MORE5. THE OVERALL COLOR SCHEMES DIFFER6. GREATER THAN 50% OF THE FRONT ELEVATION CLADDING IS OF A DIFFERENT MATERIAL7. THE OVERALL WIDTH OF THE FRONT ELEVATION DIFFERS BY TWO FEET OR MORE8. ONE HOUSE IS PREDOMINANTLY 1 STORY, WHILE THE OTHER IS PREDOMINANTLY 2 STORIES REVERSING THE FLOOR PLAN OF THE SAME MODEL WILL AUTOMATICALLY SATISFY OPTION 1.
STAGGERED HOUSE SETBACKS		NO TWO STREET-LOADED SINGLE-FAMILY DETACHED DWELLINGS ADJACENT TO ONE ANOTHER SHALL HAVE THE SAME FRONT YARD SETBACK. ADJACENT SETBACKS SHALL VARY BY A MINIMUM OF 4 FEET OR MORE. THE FRONT LINE OF A COVERED PORCH, WILL QUALIFY IN DETERMINING ADJACENT FRONT STAGGERS. ADJACENT HOMES LOCATED ON CUL-DE-SACS, EYEBROWS, OR STREETS WITH A CURVE RADIUS LESS THAN 300' SHALL NOT BE SUBJECT TO THIS REQUIREMENT.
MINIMUM FLOOR AREA PER DWELLING UNIT (MINIMUM FLOOR AREA IS CALCULATED BY ADDING ALL FLOOR AREAS PER LEVEL EXCEPT FOR BASEMENT LEVEL.)		LOTS 6,000 SQ. FT. OR GREATER = 1,000 SQ. FT. MINIMUM FOR A RANCH UNIT, 1,200 SQ. FT. FOR A 2-STORY OR SPLIT-LEVEL (EXCLUDING FINISHED AND UNFINISHED BASEMENTS, ATTICS, GARAGES, CARRIAGE UNITS AND ANY LIVING SPACE ABOVE A GARAGE THAT CAN BE CONSIDERED SEPARATE FROM THE MAIN HOUSE; INCLUDES THE LOWER LEVEL OF A SPLIT LEVEL). LOTS LESS THAN 6,000 SQ. FT. = 900 SQ. FT. (EXCLUDING FINISHED AND UNFINISHED BASEMENTS, ATTICS, GARAGES, CARRIAGE UNITS AND ANY LIVING SPACE ABOVE A GARAGE THAT CAN BE CONSIDERED SEPARATE FROM THE MAIN HOUSE; INCLUDES THE LOWER LEVEL OF A SPLIT LEVEL).
MAXIMUM BLDG. HEIGHT		50 FEET, MEASURED FROM FIRST FLOOR
ROOF SHAPES AND MATERIAL	MINIMUM QUALITY ROOF MATERIAL	ARCHITECTURAL DIMENSIONAL COMPOSITE SHINGLES WITH A MINIMUM 20-YEAR WARRANTY. OTHER HIGH QUALITY MATERIALS, SUCH AS SLATE AND TILE ROOFS, ARE ENCOURAGED.
	ROOF COLOR	A MINIMUM OF THREE ROOF COLORS MUST BE OFFERED FOR EACH PARCEL GREATER THAN 50 HOMES, AND NO MORE THAN TWO HOUSES SIDE-BY-SIDE CAN HAVE THE SAME COLOR. DEVELOPMENT AREAS USING TILE ROOFS EXCLUSIVELY ARE EXEMPT FROM HAVING TO OFFER A VARIETY OF TILE COLORS ON THE SAME ROOF.

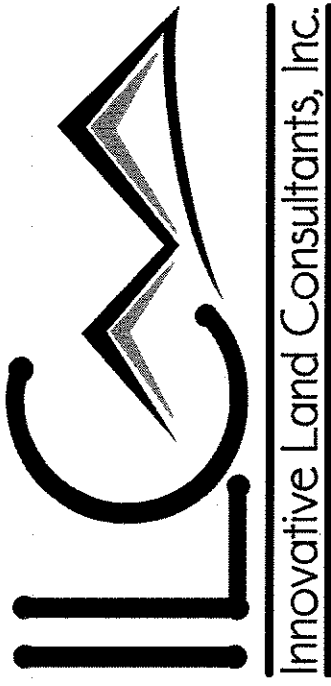
3.1.6. SINGLE FAMILY DETACHED ARCHITECTURAL STANDARDS

CATEGORY		STANDARDS
MATERIALS		<p>MATERIALS AND COLORS IN THE VICINITY OF THE SITE SHOULD BE CONSIDERED WHEN SELECTING THE MATERIALS AND COLORS FOR THE PROPOSED DEVELOPMENT. MATERIALS AND COLORS CAN UNIFY AN AREA THROUGH THE USE OF A CLEARLY DEFINED PALETTE. COLORS AND MATERIALS CAN BE SELECTED FOR COMPATIBILITY WITH THE NEIGHBORING AREA.</p> <p>MATERIAL DIVERSITY IS REQUIRED. UNLESS A HOUSE IS 100% MASONRY (INCLUDING STUCCO), A MINIMUM OF TWO DIFFERENT MATERIALS SHALL BE INCORPORATED IN EACH MODEL, FOR EXAMPLE: SYNTHETIC STUCCO, BRICK, THINSET BRICK, STONE, SYNTHETIC STONE, CEMENTICIOUS SIDING, HARDBOARD SIDING WITH A MINIMUM 20 YEAR WARRANTY, AND ANY OTHER MATERIAL DEEMED TO BE OF HIGH-QUALITY AND LOW-MAINTENANCE BY THE MASTER DEVELOPER. VARIATIONS OF APPLICATIONS OF THE SAME MATERIAL, SUCH AS SCALLOPS, FISH-SCALE AND LAP SIDING, WILL BE COUNTED AS DIFFERENT MATERIALS FOR THIS REQUIREMENT. VINYL SIDING WILL BE ALLOWED WITH APPROVAL OF MASTER DEVELOPER.</p> <p>THE COVERAGE OF THE SECOND MATERIAL DOES NOT NEED TO BE DISTRIBUTED EVENLY ON ALL FOUR SIDES.</p> <div></div> <p>MATERIAL AND COLOR CHANGES ARE NOT PERMITTED AT OUTSIDE CORNERS</p> <p>2-FT. MASONRY WRAPS ARE REQUIRED EXCEPT IF PREVENTED BY THE LOCATION OF A WINDOW</p>
DOORS & ENTRY		DOORS SHOULD VARY IN STYLE BUT MATCH THE ARCHITECTURE OF EACH HOME. ENTRY SIDELIGHTS ARE ENCOURAGED.
DECKS & COLUMNS		ALL DECKS AND COLUMNS BUILT BY THE INITIAL BUILDER SHALL BE CONSISTENT AND COMPLIMENTARY TO THE MAIN STRUCTURE IN MATERIALS AND STYLE. ALL PORCH AND DECK COLUMNS GREATER THAN EIGHT FEET ABOVE GRADE SHALL HAVE A MINIMUM CROSS SECTION OF 8"x8" INCHES. ALL DECKS ADDED ON AFTER INITIAL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE COVENANTS, CODES, AND RESTRICTIONS.
WINDOWS		WINDOW DESIGN MUST BE CONSISTENT WITH THE STYLE OF THE HOUSE, EXCEPT PICTURE WINDOWS, AND CARRIED OUT ON ALL FOUR SIDES OF ANY HOUSE ADJACENT TO A MAJOR ARTERIAL, MINOR ARTERIAL, MAJOR COLLECTOR, MINOR COLLECTOR, OPEN SPACE CORRIDOR, PERIMETER OF DEVELOPMENT BOUNDARY. FOR EXAMPLE, DIVIDED LIGHT WINDOWS MAY BE PROVIDED ON A VICTORIAN STYLE BUT NOT ON SOME CONTEMPORARY STYLES.
TRIM		TRIM SHALL BE USED WHEN IT IS APPROPRIATE WITH THE STYLE OF THE BUILDING. IT SHALL BE A MINIMUM OF 1X4 ON SIDES OF WINDOWS; 2X6 TRIM ON WINDOW HEADS; AND 2X8 OR 2X10 TRIM AS HORIZONTAL ACCENTS WHEN APPROPRIATE FOR ARCHITECTURAL ACCENTS. TRIM IS NOT REQUIRED WHEN IT WILL CONFLICT WITH THE MATERIALS AND/OR STYLE OF THE BUILDING, FOR EXAMPLE, WHEN STUCCO OR STONE IS USED, OR ON SOME CONTEMPORARY STYLES.
ARCHITECTURAL ACCENTS		DECORATIVE LOUVERS, VENTS, COLOR BANDS, TRIM, AND OTHER ARCHITECTURAL ACCENTS SHALL BE INCORPORATED AT APPROPRIATE LOCATIONS IN ORDER TO PROVIDE INTEREST ON ALL SIDES OF THE BUILDING ELEVATION. THESE ACCENTS MUST BE INCORPORATED AS APPROPRIATE ON ALL SIDES OF A HOUSE ADJACENT TO A MAJOR ARTERIAL, MINOR ARTERIAL, MAJOR COLLECTOR, MINOR COLLECTOR, OPEN SPACE CORRIDOR, PERIMETER OF DEVELOPMENT BOUNDARY, RETAIL, OFFICE, OR COMMERCIAL PROPERTY.
MISCELLANEOUS		NO WINDOW AIR CONDITIONING UNITS ARE ALLOWED. SWAMP COOLERS ARE ALLOWED IF GROUND MOUNTED ONLY AND MUST BE ADEQUATELY SCREENED OR CONTAIN ARCHITECTURAL TRIM. THE COVENANTS, CODES, AND RESTRICTIONS OF INDIVIDUAL DEVELOPMENT AREAS MAY PRECLUDE SWAMP COOLERS FROM BEING ALLOWED AT ALL.
COLORS		COLORS FOR THE ROOF, BODY, WINDOWS, DOORS, AND TRIM MUST BE SUBMITTED FOR APPROVAL TO THE DESIGN REVIEW COMMITTEE(DRC).
FENCING	SOLID FENCES	FENCING THAT IS ADJACENT TO COLLECTOR AND ARTERIAL STREETS MAY BE SOLID PRIVACY FENCING AS APPROVED ON SHEET 9 & 10 OF THIS FINAL DEVELOPMENT PLAN HEREIN.
	OPEN RAIL FENCES	SIDEYARD FENCING THAT IS ADJACENT TO HOA TRACTS MAY BE SOLID PRIVACY FENCE WITH OPEN TOP DETAIL AS APPROVED ON SHEET 9 & 10 OF THIS FINAL DEVELOPMENT PLAN HEREIN.
		ALL OTHER FENCING INCLUDING BUT NOT LIMITED TO REAR YARD, SIDE YARD, FENCE RETURNS AND OPEN SPACE FENCING MUST BE FOUR RAIL OPEN STYLE AS APPROVED ON SHEET 9 & 10 OF THIS FINAL DEVELOPMENT PLAN HEREIN.



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Copperleaf Filing No. 22

Arapahoe County, Colorado

Final Development Plan

DESIGN STANDARDS

Proj. Name:

Location:

Plan Set:

Sheet Name:

Date: 09/12/2019

Job No.:

Approved By: INNOVATIVE

Designed By: NORRIS DESIGN

Horiz. Scale:

Sheet: 12 OF 15

Client:

Richmond American Homes

Address:

4530 S. Monaco St, Denver, CO 80237

Contact:

Mick Schuhmacher

720.977.3866

Sheet: 12

P:\COPPERLEAF - 0000-01-0000\COPPERLEAF - PARCEL J - DUE DILIGENCE AND PRE-APP - 0061-01-0107\DRAWINGS\SUBMITTALS\PLAN-COP PARCEL J-LAND PRINTED ON: 9/11/2019 4:49 PM

ARAPAHOE COUNTY CASE NO. FDP19-001

COPPERLEAF FILING NO. 22

FINAL DEVELOPEMENT PLANS

ALL OF COPPERLEAF FILING NO. 22, COUNTY OF ARAPAHOE, STATE OF COLORADO.
LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
DESIGN STANDARDS
SHEET 13 OF 15

4. LANDSCAPE STANDARDS

4.1. OVERALL LANDSCAPE STANDARDS

ALL LANDSCAPING WITHIN ARAPAHOE COUNTY R.O.W. WILL ADHERE TO THE REQUIREMENTS OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE AS IN EFFECT JUNE 30, 2010.

4.1.1. STREETSCAPE STANDARDS

- A. ARTERIAL AND COLLECTOR STREETSCAPING WILL BE MAINTAINED BY THE ADJACENT HOA, METROPOLITAN DISTRICT, OR OTHER ENTITY EXCEPTING ARAPAHOE COUNTY.
- B. ALL LANDSCAPING AND FENCING IMPROVEMENTS WITHIN THE COUNTY R.O.W. MUST HAVE A LICENSE AGREEMENT AND BE REVIEWED AND APPROVED THROUGH THE ENGINEERING DIVISION AS A SEPARATE SUBMITTAL PRIOR TO ANY LANDSCAPE R.O.W. PERMITS BEING ISSUED.

4.0.1. LANDSCAPE BUFFERS

- A. STANDARD LANDSCAPE DESIGN FOR BUFFERS
 - a. LANDSCAPE BUFFERS WILL COMPLY WITH ARAPAHOE COUNTY CODE AND ARAPAHOE COUNTY LANDSCAPE DESIGN GUIDELINES AS IN EFFECT ON JUNE 30, 2010.
- B. REQUIRED BUFFER WIDTHS ARE LISTED IN THE FOLLOWING TABLE. ALL BUFFER TREATMENTS ARE REQUIRED TO COMPLY WITH THE COPPERLEAF LANDSCAPE DESIGN.

ADJACENT TO:	SFD
COPPERLEAF BLVD.	20' FROM BACK OF CURB TO FENCE
E. RADCLIFF PKWY.	20' FROM BACK OF CURB TO FENCE

4.1.3. VIEW CORRIDORS & SITE PERIMETER

- A. VIEW CORRIDORS IN COPPERLEAF FILING NO. 21 ARE ADJACENT TO OPEN SPACES AND PARKS. SINCE THE DEVELOPMENTS ADJACENT TO THESE CORRIDORS ARE HIGHLY VISIBLE, A STRONG EMPHASIS SHALL BE PLACED ON SENSITIVE LANDSCAPE TREATMENTS THAT WILL AFFORD PLEASANT VISUAL EXPERIENCES FROM THESE CORRIDORS.

4.2 PLANT MATERIAL

4.2.1. MINIMUM SIZES FOR ALL PLANT MATERIAL PROVIDED BY THE BUILDER OR DEVELOPER.

- A. THE HOA COVENANTS, CODES, AND RESTRICTIONS MAY PROVIDE FOR INCREASED MINIMUM SIZES IN SPECIFIC PARCELS.
- B. SHADE TREES 2 INCH CALIPER
- C. ORNAMENTAL TREES 1 1/2 INCH CALIPER
- D. EVERGREEN TREES 6 FOOT HEIGHT MINIMUM, 8 FOOT WHERE ADJACENT TO STREET RIGHTS OF WAY
- E. ALL SHRUBS - #5 CONTAINER
- F. ORNAMENTAL GRASSES - #1 CONTAINER
- G. GROUND COVER, ANNUALS, AND PERENNIALS - NO RESTRICTIONS

4.2.1. PUBLIC WALKS

- A. THORNY PLANT MATERIAL SHALL NOT BE LOCATED ADJACENT TO PUBLIC WALKS. CLEAR SPACE ABOVE PUBLIC WALKS SHALL BE EIGHT FEET OR GREATER.

4.2.1. SEEDED AREA REGULATIONS

- A. SEEDED AREAS SHALL BE IN ACCORDANCE WITH EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT, ARAPAHOE PARK AND RECREATION DISTRICT, DISTRICT REGULATIONS AND GESD REQUIREMENTS AS APPLICABLE.

4.2.1. TURF AREA REGULATIONS FOR PRIVATELY LANDSCAPED AREAS

- A. TURF AREAS WILL BE SEPARATED FROM PLANTING BEDS WHEREVER POSSIBLE. PLANTINGS OF TURF SHALL SIMILARLY BE DISCOURAGED IN AREAS AROUND HYDRANTS, TREE TRUNKS OR ABOVE GROUND VALVES OR UTILITIES. LARGE AREAS OF TURF WHERE NO ACTIVITY OR PEDESTRIAN CIRCULATION OCCURS ARE DISCOURAGED. IN PLACE OF THESE AREAS, MULCHED PLANTINGS ARE RECOMMENDED TO MAINTAIN A GREEN AND WATER EFFICIENT LANDSCAPE. WHERE ADDITIONAL TURF AREAS ARE DESIRED, ALTERNATE TURF SPECIES THAT TOLERATE CIRCULATION, EXTENDED DROUGHT, AND/OR PROVIDE FOR REDUCED MAINTENANCE REQUIREMENTS ARE ENCOURAGED.

4.2.1. NON-LIVING MATERIALS REGULATIONS

- A. NO GREATER THAN FIFTY PERCENT OF THE REQUIRED OPEN SPACE SHALL BE COVERED WITH ROCK OR OTHER APPROVED NON-LIVING MATERIALS. WITH A MINIMUM OF FIFTY PERCENT OF THE SURFACE OF NON-LIVING MATERIAL COVERAGE AREAS REQUIRED TO BE COVERED BY LIVING PLANT MATERIALS. GROUND COVER, PERENNIALS, SHRUBS, AND EVERGREEN TREES SHALL BE UTILIZED FOR THIS CALCULATION. AT MATURITY, 75% OF THE REQUIRED OPEN SPACE SHALL BE COVERED BY LIVING PLANT MATERIAL.

4.3. IRRIGATION REQUIREMENTS FOR PRIVATELY LANDSCAPED AREAS

4.3.1. COMPLIANCE WITH EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT

- A. ALL DEVELOPMENT MUST COMPLY WITH THE EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT IRRIGATION SYSTEM WATER CONSERVATION REQUIREMENTS. WHERE THE COPPERLEAF DESIGN STANDARDS DIFFER, THE STRICTER REQUIREMENT MUST BE FOLLOWED.

4.0.1. WATER CONSERVATION FOR PRIVATELY LANDSCAPED AREAS

- A. IN ACCORDANCE WITH WATER CONSERVATION PRACTICES, AND GUIDELINES FROM THE EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT AND ARAPAHOE PARK AND RECREATION DISTRICT, IRRIGATION WILL BE PROVIDED AT STRATEGIC LEVELS AND LOCATIONS, SO THAT AREAS REQUIRING HIGH LEVELS OF IRRIGATION ARE PROVIDED ONLY WHERE THEY ARE NECESSARY.

4.3.3. IRRIGATION TYPES FOR PRIVATELY LANDSCAPED AREAS

- A. AUTOMATIC IRRIGATION IS REQUIRED FOR ALL HOA LANDSCAPE TRACTS NOT DESIGNATED AS NATIVE.
- B. AREAS OF RESTORATIVE GRASSES ARE NOT REQUIRED TO HAVE IRRIGATION PER THE POLICIES OF THE ARAPAHOE PARK AND RECREATION DISTRICT.

4.3.1. IRRIGATION EXCEPTIONS

- A. FOUNDATION LANDSCAPING IN AREAS OF EXPANSIVE SOILS MAY BE EXEMPT FROM NORMAL IRRIGATION REQUIREMENTS UPON SUBMITTAL OF A SOILS REPORT.

4.4. RESIDENTIAL LANDSCAPE STANDARDS

4.4.1. SINGLE-FAMILY DETACHED

A. FRONT YARD LANDSCAPE REQUIREMENTS

- a. THE BUILDER IS REQUIRED TO PROVIDE FRONT YARD LANDSCAPING FOR ALL HOMES IN SINGLE-FAMILY DETACHED DEVELOPMENTS. FRONT YARD LANDSCAPING MUST BE INSTALLED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR WITHIN 120 DAYS OF THE START OF THE LANDSCAPE SEASON, APRIL 15TH, UNLESS OTHERWISE PROHIBITED BY RULES AND REGULATIONS OF THE EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT. IN WHICH CASE FRONT YARD LANDSCAPING MUST BE INSTALLED WITHIN 90 DAYS OF SAID RESTRICTION BEING LIFTED OR WITHIN 90 DAYS OF THE START OF THE LANDSCAPE SEASON. IN ORDER TO ASSURE QUALITY LANDSCAPING AND A HARMONIOUS BUT VARIED STREETSCAPE, LANDSCAPE PACKAGES HAVE BEEN SELECTED. THE SAME LANDSCAPE PACKAGE MAY NOT BE USED ON SIDE-BY-SIDE LOTS.

B. REAR YARD LANDSCAPE REQUIREMENTS

- THE HOMEOWNER MUST INSTALL REAR-YARD LANDSCAPING WITHIN 120 DAYS OF THE START OF THE LANDSCAPE SEASON, APRIL 15TH, UNLESS OTHER GOVERNMENTAL AGENCIES SUCH AS ARAPAHOE COUNTY OR EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT PRECLUDE SUCH COMPLETION DUE TO REGULATIONS RELATED TO A DROUGHT OR WATER CONSERVATION EFFORTS. IN THAT EVENT, ALL LANDSCAPE MUST BE COMPLETED, EXCEPT THE SOD/SEED PORTION, WITHIN THE PRESCRIBED 120 DAYS AND THE SOD/SEED PORTION MUST BE INSTALLED WITHIN 60 DAYS OF ANY SUCH RESTRICTIONS BEING LIFTED, OR 60 DAYS AFTER THE START OF THE LANDSCAPE SEASON.

- C. COMMON LANDSCAPING, INSTALLED BY THE BUILDER AND MAINTAINED BY THE HOA, MAY BE PROVIDED.

- D. LANDSCAPE TO BE DESIGNED IN ACCORDANCE WITH THE ARAPAHOE COUNTY CODE IN EFFECT JUNE 30, 2010.

- E. PLEASE REFER TO SHEET 2, GENERAL NOTE 1 HEREIN FOR ADDITIONAL LOT LANDSCAPE REQUIREMENTS.

4.5 STANDARDS

4.5.1 GENERAL REQUIREMENTS FOR PRIVATELY LANDSCAPED AREAS

- A. LANDSCAPE AREAS SHALL INCLUDE A COMBINATION OF LIVING PLANT MATERIALS INCLUDING TREES, SHRUBS, ANNUAL PLANTS, PERENNIAL PLANTS, VINES, GRASSES, AND/OR GROUND COVER. NON-LIVING, DURABLE MATERIALS COMMONLY USED IN LANDSCAPING SUCH AS, BUT NOT LIMITED TO, WOOD MULCHES, ROCKS, PEBBLES, SAND, WATER FEATURES, AND DECORATIVE PAVING, MAY ALSO BE USED IN LANDSCAPED AREAS.
- B. ALL LANDSCAPE AREAS SHALL HAVE AN APPROVED IRRIGATION SYSTEM, EXCEPT PER SECTION 4.3.3 A & B HEREIN.
- C. A LANDSCAPED AREA SHALL HAVE A MINIMUM DIMENSION OF 3' ON ANY SIDE.
- D. ALL PLANT MATERIAL SHOULD BE OF SOUND HEALTH, VIGOROUS GROWTH, AND FREE FROM INSECT PESTS.
- E. DROUGHT TOLERANT AND XERIC PLANT SPECIES SHALL BE USED WHENEVER POSSIBLE AND APPROPRIATE FOR PRACTICAL WATER CONSERVATION TECHNIQUES. THE SEVEN PRINCIPLES OF XERISCAPE ARE:
 - a. MINIMIZE COOL SEASON TURF AREAS.
 - b. REPLACE TURF AREAS WITH HARDSCAPE SUCH AS DECKING, PATIOS, WALKWAYS, ETC.
 - c. REDUCE TURF AREAS WITH MULCHED PLANTING BEDS.
 - d. AMEND SOILS WITH ORGANIC MATTER.
 - e. ZONE PLANTS BY WATER, SOIL, AND SUN NEEDS.
 - f. ZONE IRRIGATION BY PLANT WATER NEEDS.
 - g. MAINTAIN LANDSCAPE TO REDUCE WATER USAGE BY WEEDS AND PROMOTE HEALTH PLANT GROWTH.

4.5.2 SCREENING REQUIREMENTS

- A. WHENEVER STRUCTURES SUCH AS FENCES OR WALLS ARE USED TO CREATE A SCREEN, PLANTS SHALL BE LOCATED ON THE SIDES OF THE STRUCTURE THAT ARE VISIBLE FROM ADJACENT RIGHT-OF-WAY.
- B. METHODS OF SCREENING INCLUDE BERMING, LANDSCAPING, AND DECORATIVE WALLS AND FENCING.
- C. ALL OTHER SCREENING REQUIREMENTS WILL MEET THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE IN EFFECT ON JUNE 30, 2010.

4.5.3 PLANTING REQUIREMENTS

- A. TREES, SHRUBS, AND OTHER PLANT MATERIALS WITH THORNS, SPINES, SEED PODS, OR LARGE FRUITS SHALL NOT BE PERMITTED WITHIN 10' OF SIDEWALKS.
- B. TREES SHALL BE PLANTED SO THAT AT MATURITY THEY DO NOT INTERFERE WITH OVERHEAD POWER LINES.

5. OPEN SPACE AND PARKS STANDARDS

5.1. GENERAL REQUIREMENTS

5.1.1. IRRIGATION

- A. IRRIGATION SHALL BE PROVIDED IN AN EFFICIENT MANNER THAT MAXIMIZES WATER CONSERVATION AND THAT IS CONSISTENT WITH THE ARAPAHOE PARK AND RECREATION DISTRICT AND EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT REQUIREMENTS AS MAY BE APPLICABLE.

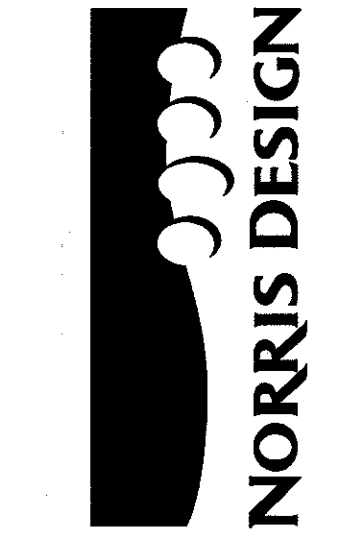
- a. ACTIVE PORTIONS OF PARKS SHALL BE IRRIGATED, SUCH AS AREAS AROUND SHELTERS, PLAYGROUNDS, ENTRANCES, PLAYFIELDS, AND WHERE TRAILHEADS MEET THE ADJACENT ROAD.
- b. THE INACTIVE/NATURAL AREAS SHALL BE PLANTED WITH GRASSES THAT ADAPT TO NATIVE CONDITIONS AND THEREFORE DO NOT REQUIRE FULL IRRIGATION TO ESTABLISH THEMSELVES PER THE POLICIES OF THE ARAPAHOE PARK AND RECREATION DISTRICT. HOWEVER, TEMPORARY IRRIGATION TO ESTABLISH THESE AREAS WILL BE PROVIDED.

5.1.2. MAINTENANCE

- A. AN HOA AND/OR METROPOLITAN DISTRICT WILL MAINTAIN ANY AREAS NOT SUBJECT TO MAINTENANCE BY THE ARAPAHOE PARK AND RECREATION DISTRICT OR EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT.



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Westminster, CO 80234
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Copperleaf Filing No. 22
Arapahoe County, Colorado
Final Development Plan
DESIGN STANDARDS

Proj. Name:	Date:	09/12/2019
Location:	Job No.:	
Plan Set:	Approved By:	INNOVATIVE
Sheet Name:	Designed By:	NORRIS DESIGN
	Horiz. Scale:	
	Sheet:	13 OF 15
	Client:	
	Richmond American Homes	
	Address:	
	4530 S. Monaco St., Denver, CO 80237	
	Contact:	Mick Schuhmacher 720.977.3866
Sheet:	13	



dec/jk

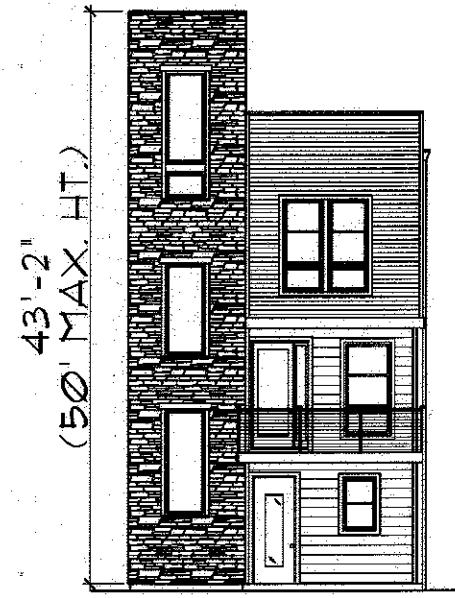
COPPERLEAF FILING NO. 22

FINAL DEVELOPEMENT PLANS

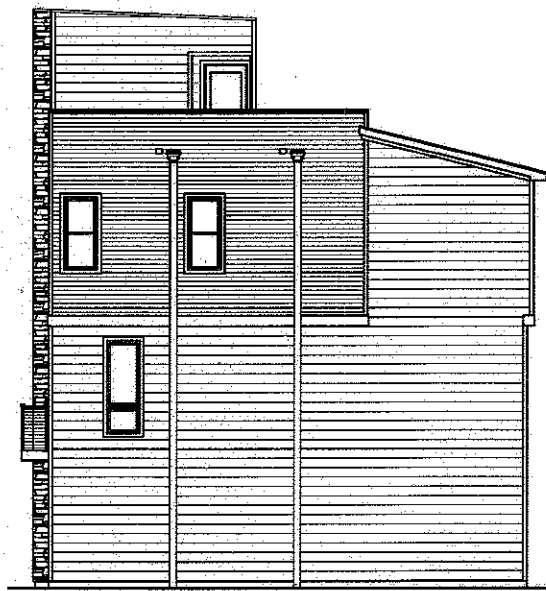
ALL OF COPPERLEAF FILING NO. 22, COUNTY OF ARAPAHOE, STATE OF COLORADO.
LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
ARCHITECTURE
SHEET 14 OF 15

ENHANCED LOT ELEVATIONS TO INCLUDE
• "END CONDITION" ELEVATIONS ARE TO BE USED FOR ENHANCED
LOTS

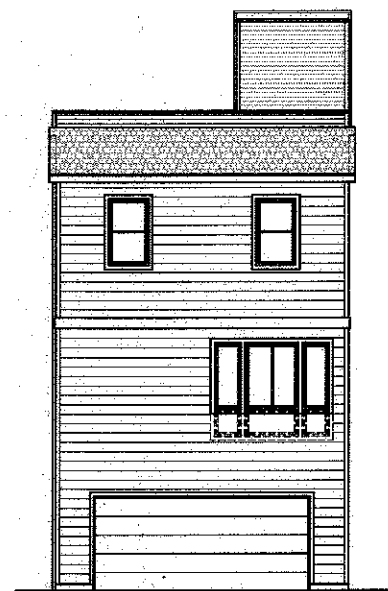
BUILDING D567



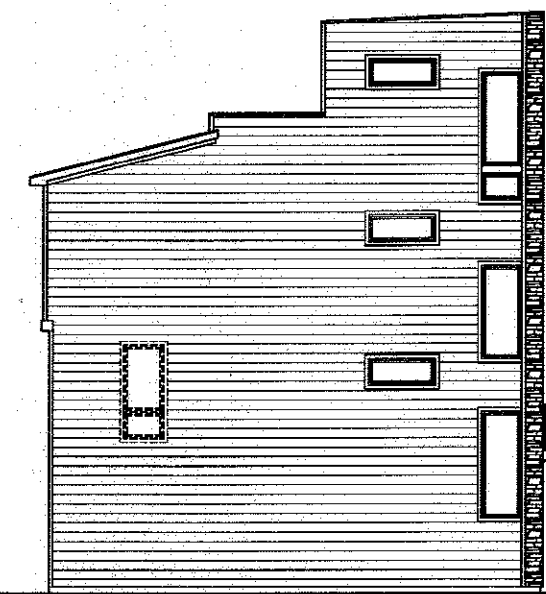
GREENWICH FRONT ELEVATION
NTS



GREENWICH RIGHT ELEVATION "END CONDITION"
NTS



GREENWICH REAR ELEVATION
NTS



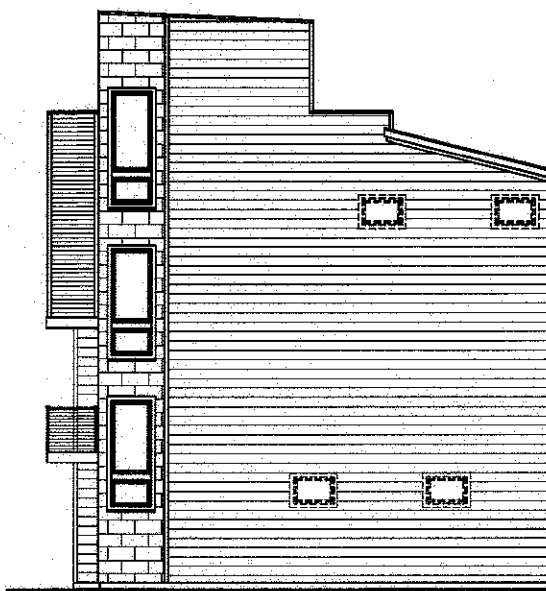
GREENWICH LEFT ELEVATION
NTS NOT AVAILABLE AS END CONDION

ENHANCED LOT ELEVATIONS TO INCLUDE
• "END CONDITION" ELEVATIONS ARE TO BE USED FOR ENHANCED
LOTS

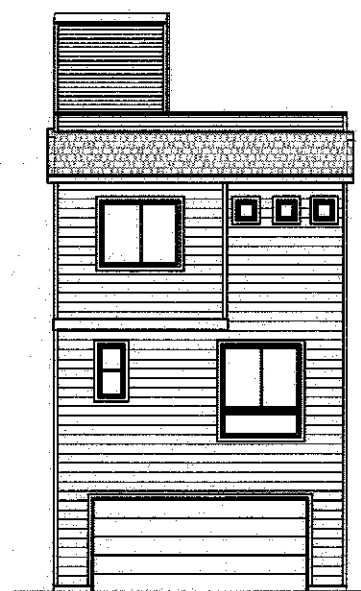
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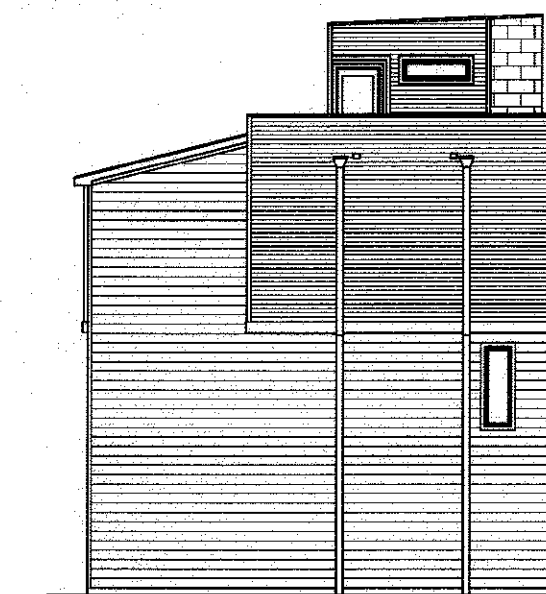
SOHO FRONT ELEVATION
NTS



SOHO RIGHT ELEVATION
NTS NOT AVAILABLE AS END CONDITION



SOHO REAR ELEVATION
NTS



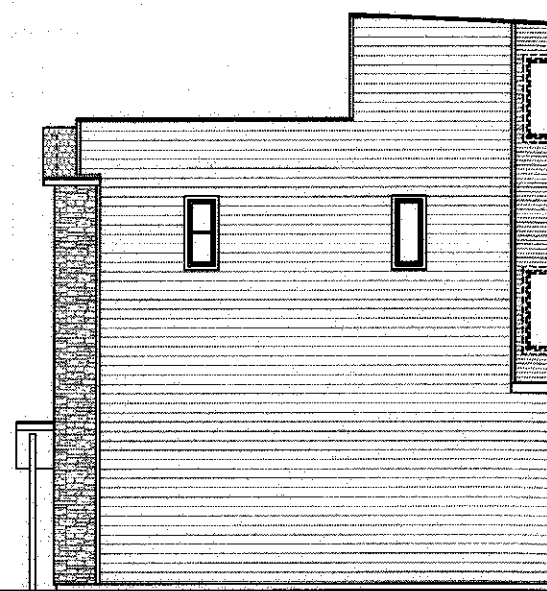
SOHO LEFT ELEVATION "END CONDITION"
NTS

ENHANCED LOT ELEVATIONS TO INCLUDE
• "END CONDITION" ELEVATIONS ARE TO BE USED FOR ENHANCED
LOTS

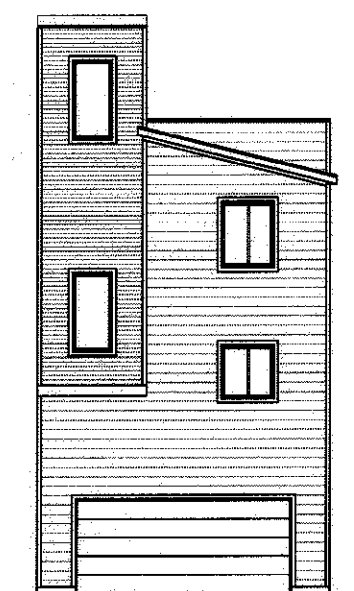
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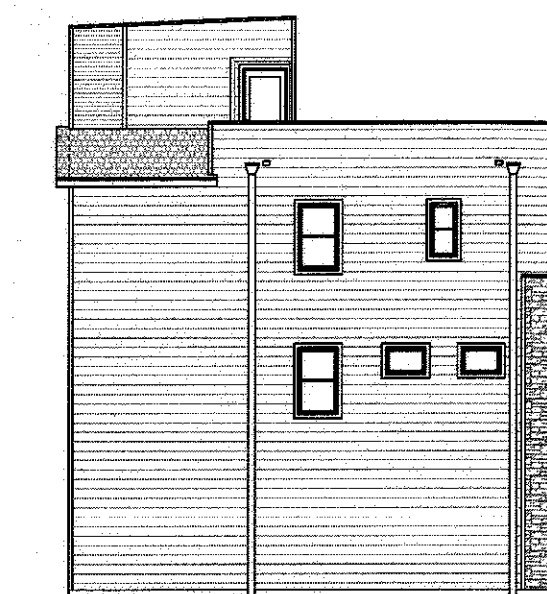
DEVOE FRONT ELEVATION
NTS



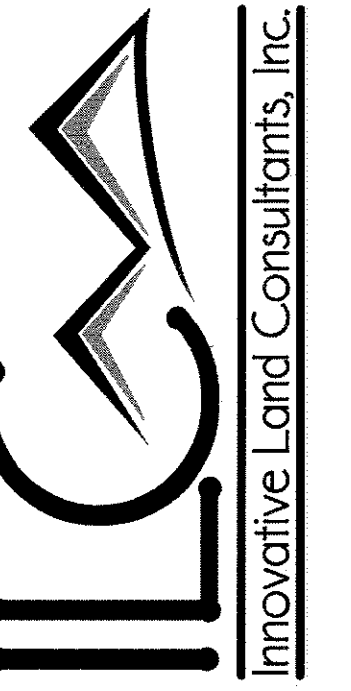
DEVOE RIGHT ELEVATION
NTS



DEVOE REAR ELEVATION
NTS



DEVOE LEFT ELEVATION
NTS NOT AVAILABLE AS END CONDION



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Copperleaf Filing No. 22

Arapahoe County, Colorado

Final Development Plan

ARCHITECTURE

Proj. Name:

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09/12/2019

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INNOVATIVE

Designed By:

NORRIS DESIGN

Horiz. Scale:

Sheet:

14 OF 15

Client:

Richmond American Homes

Address:

4530 S. Monaco St., Denver, CO

80237

Contact:

Mick Schuhmacher

720.977.3866

Sheet:

14

COPPERLEAF FILING NO. 22
FINAL DEVELOPEMENT PLANS

ALL OF COPPERLEAF FILING NO. 22, COUNTY OF ARAPAHOE, STATE OF COLORADO.
LOCATED IN THE NORTH HALF OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
ARCHITECTURE
SHEET 15 OF 15

- ENHANCED LOT ELEVATIONS TO INCLUDE:
- LEFT ELEVATION/ GARAGE SIDE - EXTENDED STONE TO REAR CORNER, SHUTTERS, WINDOW AT GARAGE, WINDOW @ DINING & WINDOW @ MBR.
 - REAR ELEVATION - SHUTTERS & WAINSCOT HT. MASONRY ON REAR OR EXTENDED COVERED PATIO (RETURN MASONRY 24" ON LEFT SIDE AND TO INSIDE CORNER OF PATIO)
 - RIGHT ELEVATION/ NON-GARAGE SIDE - WINDOWS @ STAR LANDING, WINDOWS @ GREAT ROOM & SHUTTERS

BUILDING D712



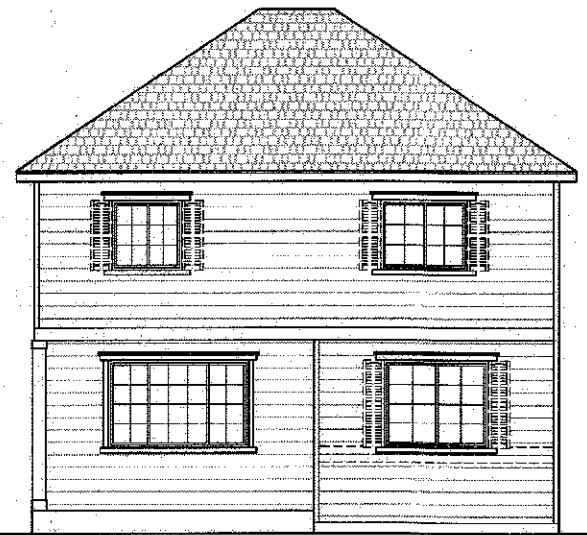
LIESEL FRONT ELEVATION

NTS



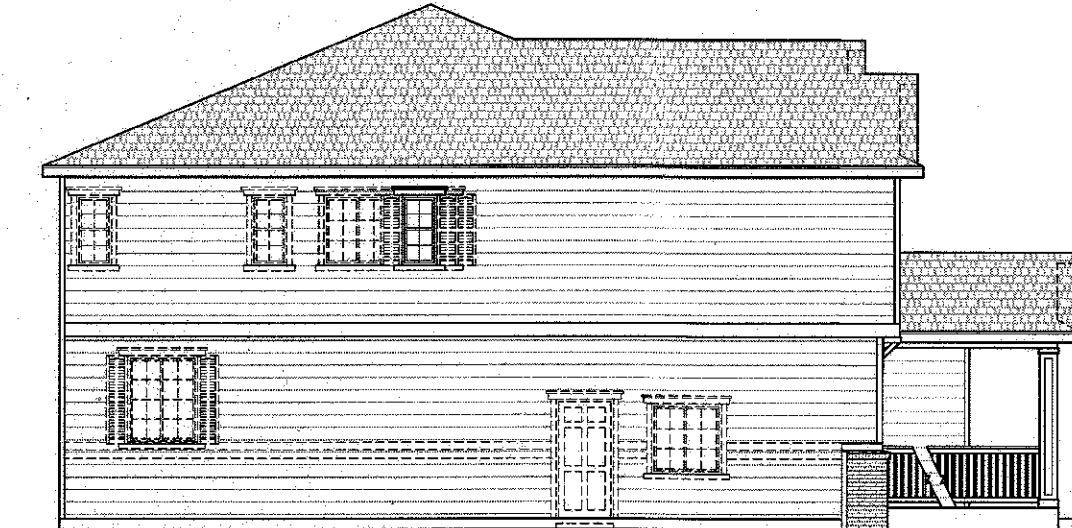
LIESEL RIGHT ELEVATION

NTS



LIESEL REAR ELEVATION

NTS



LIESEL LEFT ELEVATION

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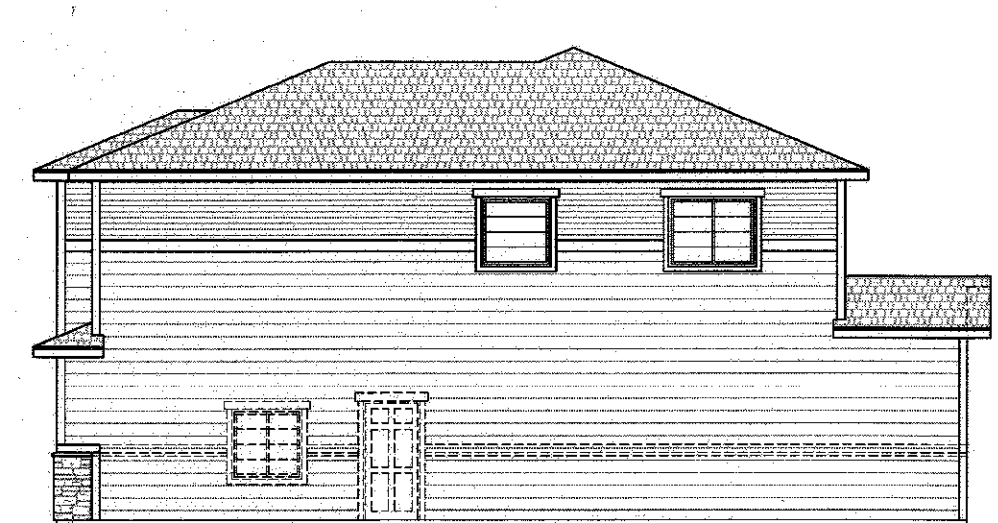
- ENHANCED LOT ELEVATIONS TO INCLUDE:
- LEFT ELEVATION - WINDOW @ BR3 & CANTILEVERED FIREPLACE W/ NARROW LAP SIDING
 - RIGHT ELEVATION - WINDOW @ GARAGE & MASONRY TO REAR CORNER
 - REAR ELEVATION - WAINSCOT MASONRY OR COVERED PATIO/ DECK2

BUILDING D749



LIGHTNER FRONT ELEVATION

NTS



LIGHTNER RIGHT ELEVATION

NTS



LIGHTNER REAR ELEVATION

NTS



LIGHTNER LEFT ELEVATION

NTS

- ENHANCED LOT ELEVATIONS TO INCLUDE:
- LEFT ELEVATION (NON-GARAGE SIDE) - ALL WINDOWS ARE STANDARD & EXTENDED MASONRY RETURN TO REAR CORNER
 - REAR ELEVATION - SECONDARY MATERIALS @ MBR, MASONRY ON REAR (RETURNING 24" ON SIDES) OR COVERED PATIO 1 OR 2
 - RIGHT ELEVATION (GARAGE SIDE) - ALL WINDOWS ARE STANDARD & EXTENDED MASONRY RETURN TO REAR CORNER

BUILDING D229



LEAH FRONT ELEVATION

NTS



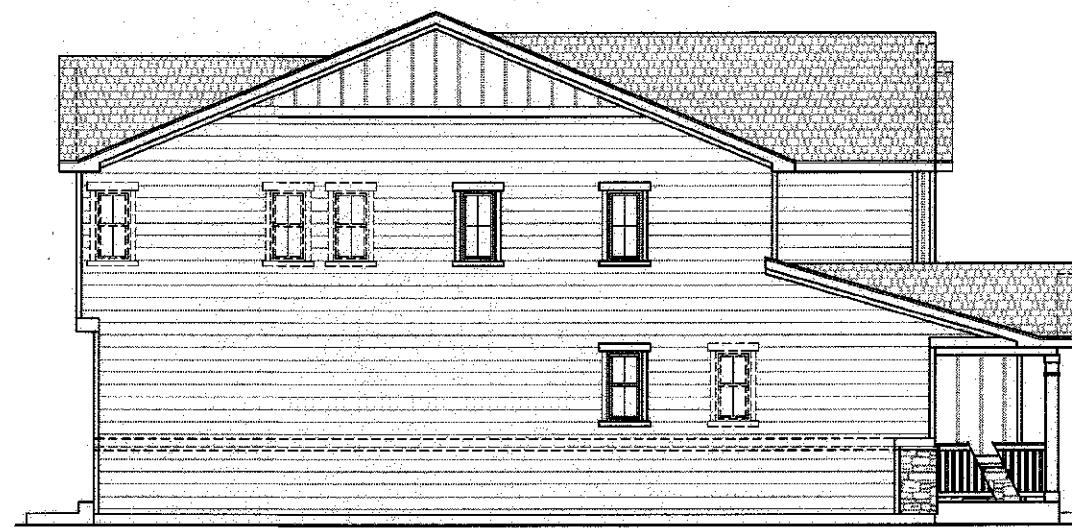
LEAH RIGHT ELEVATION

NTS



LEAH REAR ELEVATION

NTS



LEAH LEFT ELEVATION

NTS

- ENHANCED LOT ELEVATIONS TO INCLUDE:
- LEFT ELEVATION - WINDOW AT ENTRY
 - REAR ELEVATION - SHUTTERS & EXTENDED PATIO OR WAINSCOT HT. MASONRY (RETURNING 24" ON RIGHT SIDE AND TO INSIDE CORNER OF PATIO)
 - RIGHT ELEVATION - WINDOWS AT MBR, WINDOW AT BA2, WINDOW AT GARAGE, SHUTTERS & EXTENDED MASONRY RETURN - TERMINATE AT REAR CORNER

BUILDING D698



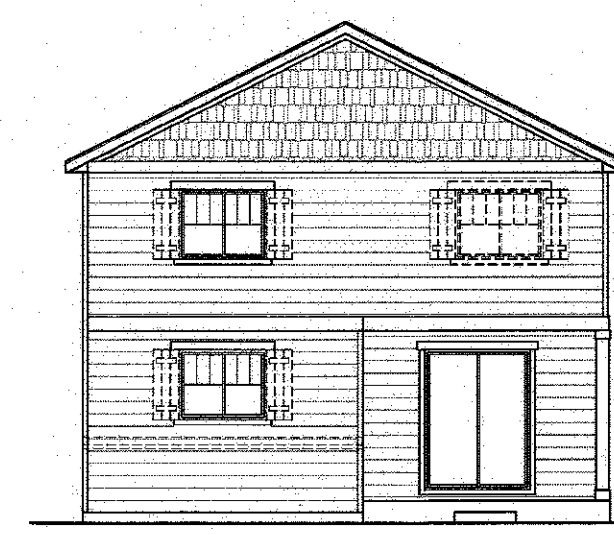
LAYLA FRONT ELEVATION

NTS



LAYLA RIGHT ELEVATION

NTS



LAYLA REAR ELEVATION

NTS



LAYLA LEFT ELEVATION

NTS