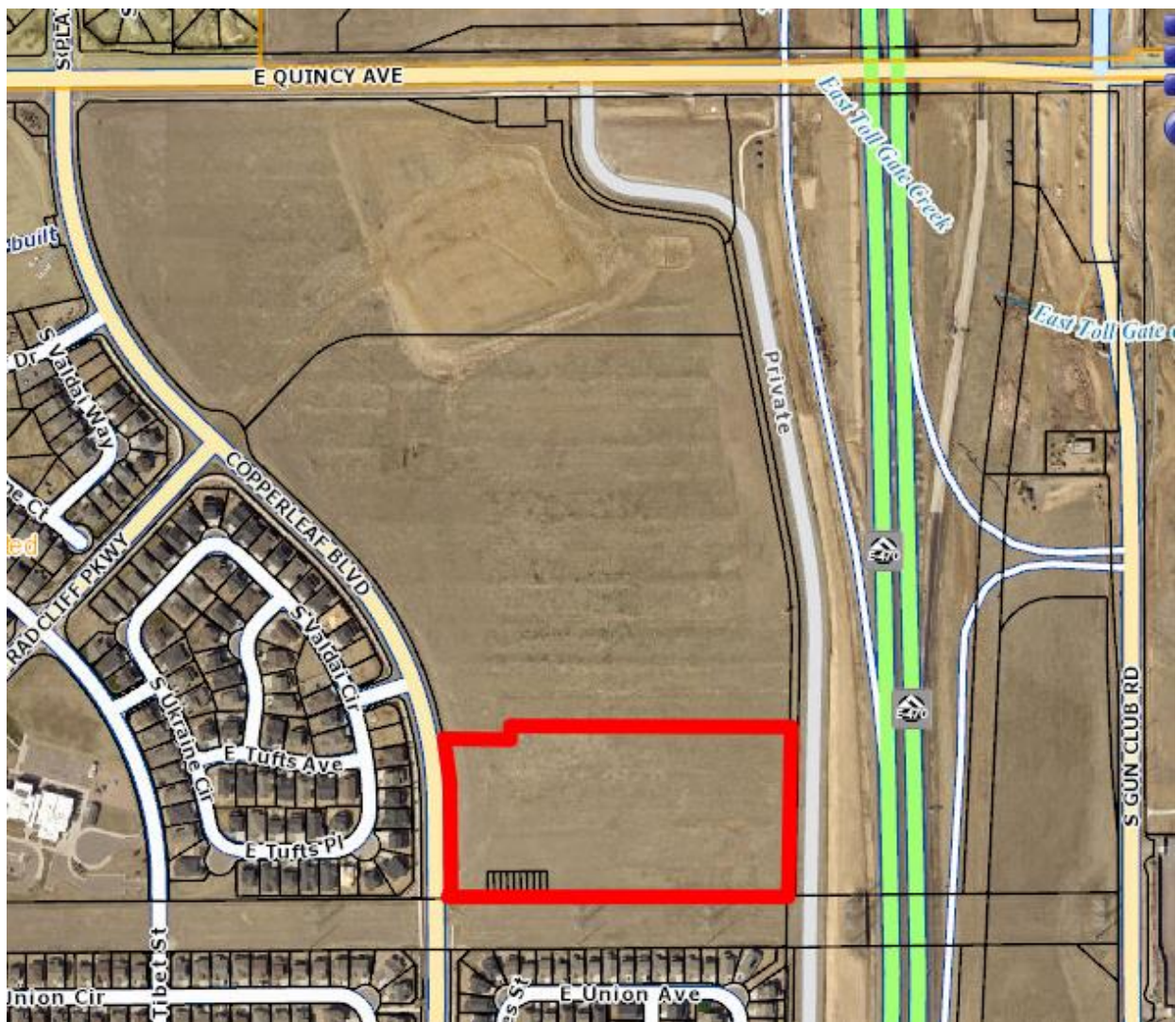


Case No. FDP21-002 Copperleaf No. 27 Final Development Plan
Bill Skinner, Senior Planner

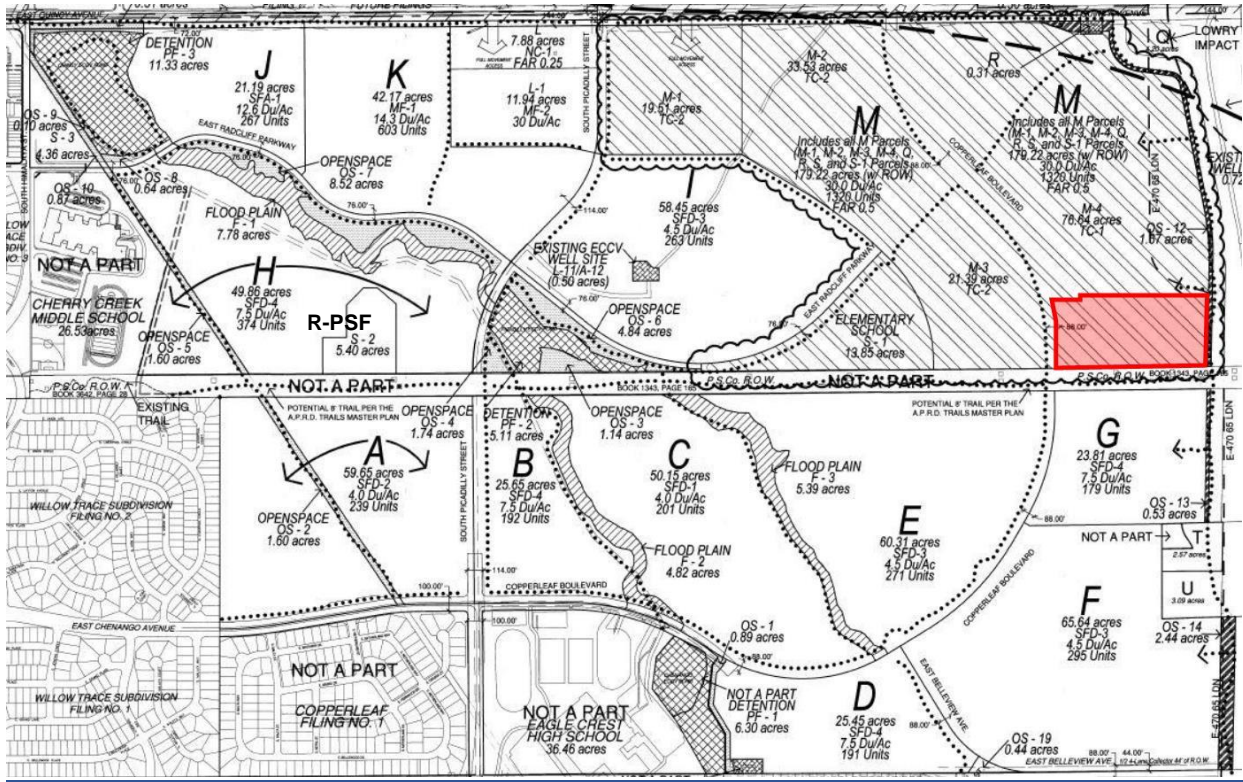
January 6, 2022

LOCATION

The Copperleaf No. 27 Final Development Plan site is located between Copperleaf Boulevard and the E-470 Tollway approximately 2000 feet south of E Quincy Avenue. This site is in Commissioner District No. 3.



Vicinity Map - (site is indicated by red outline)



Zoning Map - (site is indicated by red outline)

ADJACENT SUBDIVISIONS, ZONING, AND LAND USES

- North - Vacant land zoned MU-PUD, Use Area M, Parcel M-4/Towne Centre 1 by the Copperleaf PDP. This is the same zoning as the subject parcel.
- South - A power line transmission corridor which also contains a pedestrian trail. A Copperleaf single-family detached development exists in Parcel G (see map above) on the south side of the corridor.
- East - The E-470 Tollway corridor. The E-470 pedestrian trail is located on the west side of the corridor adjacent to the subject property.
- West - A Copperleaf single-family detached development exists on the west side of Copperleaf Boulevard in Parcel M-3/TC2.

PROPOSAL

Final Development Plan (FDP) FDP21-002 proposes 110 paired homes on the southernmost 11.87 acres of Copperleaf Parcel M-4 at a density of 9.27 dwelling units per acre (du/ac). All homes have a rear-loaded two-car garage. Lots are typically either 28'x80' or 28'x92'. Deeper lots accommodate additional driveway parking to the rear of the home. Homes are arranged to front onto public roads, common open spaces, or private park space.

The design includes a 0.67 acre park located on the west side of the development adjacent to Copperleaf Boulevard. Park elements include walking paths, benches and trash receptacles, a multi-use turf area and play structure designed to accommodate children ages 5-12. East/west pedestrian connectivity is provided on paved walks along the north and south side of the neighborhood and sidewalks along the internal roadway and a north/south corridor that bisects the relatively long east/west blocks, which will provide north and south pedestrian connections through the site. The proposed internal trail systems connect residents to the larger regional trail corridor located within the PSCo easement to the south as well as to activity centers suggested by the Copperleaf PDP on the north end of the Copperleaf M-4 Towne Centre parcel.

Final Plat application PF21-003 is undergoing concurrent review, and if approved will establish the lots, tracts, and right of ways depicted in the FDP21-002 proposal. Final Plat applications do not appear at the Planning Commission.

BACKGROUND

The property is currently zoned MU-PUD, Use Area M, Parcel M-4/Towne Centre 1. This zoning was approved with the original Copperleaf Preliminary Development Plan (PDP), and most recently amended with PDP Amendment AA21-008 which authorized unallocated residential density from the west side of copperleaf boulevard to be transferred to the east side of Copperleaf Boulevard. The Parcel M-4/Towne Centre 1 zoning allows paired homes.

The applicant held a virtual neighborhood meeting to introduce this proposal on Wednesday, May 19, 2021. Four members of the public attended and asked questions about the proposed fencing and architecture, and general questions about future plans for commercial activities and community amenities in the larger Copperleaf Community.

DISCUSSION

Staff review of this application included a comparison of the proposal to: 1) the approved Copperleaf PDP; 2) applicable policies and goals outlined in the Comprehensive Plan; 3) review of pertinent zoning regulations; 4) local activity; and 5) analysis of referral comments.

1. The Z13-003 Copperleaf PDP

Application FDP21-002 complies with stipulations stated in Z13-003 Copperleaf PDP as amended by the AA21-008 Copperleaf PDP Amendment as it pertains to Use Area M-4/Towne Centre 1. With the approval of Administrative Amendment AA21-008, a maximum limit of 1320 residential units are allowed in Use Areas M 1 through 4/TC-1&2 cumulatively. This application proposes 110 units in Area M-4/TC1, leaving capacity for 735 additional residential units in this area.

2. The Comprehensive Plan

The Arapahoe County Comprehensive Plan (Comp Plan) designates this site as “Urban Residential”. Urban Residential areas are anticipated to *“contain primarily residential neighborhood development. Neighborhoods will contain a variety of housing types, combined with non-residential secondary land uses that are complementary and supportive.”* This plan proposes 146 homes within a half mile of existing commercial uses such as grocery stores, neighborhood commercial/retail services, and childcare facilities located in at the Tallgrass

Commercial Center and in Copperleaf adjacent to E Quincy Avenue. The applicant's proposal for residential development meets the direction provided by the Comp Plan.

Application FDP21-002 proposes 110 paired homes near existing Copperleaf single-family detached neighborhoods consisting of single-family structures on lots that typically range from 0.15 to 0.16 acres in size. In this regard, this proposal is aligned with *Policy NL 4.1 – Promote a Diversity of Housing Types* as set forth in the Comprehensive Plan.

3. Land Development Code Review

Section 13-100, Planned Unit Development (P.U.D.) of the Land Development Code, states that "the P.U.D. process is intended to prevent the creation of a monotonous urban landscape by allowing for the mixture of uses which might otherwise be considered non-compatible, through the establishment of flexible development standards", provided said standards:

- a. *Recognize the limitations of existing and planned infrastructure, by thorough examination of the availability and capability of water, sewer, drainage, and transportation systems to serve present and future land uses.*

The site is located adjacent to Copperleaf Boulevard. This roadway provides vehicle access and pedestrian sidewalks that connect to the greater metro roadway and sidewalk networks. Pedestrian trails are present in the power line corridor south of the site and in the E-470 corridor. The E-470 trail is located on the west side of the E-470 roadway. There is no need to cross the tollway to access this trail. The power line corridor trail connects to the E-470 trail. Additional trail connections are proposed in development applications currently being reviewed for projects north of the Copperleaf 27 site.

RTD bus service is present on E Quincy Avenue.

The Engineering Services Division has evaluated the proposal in light of the existing and proposed infrastructure and has determined that it is generally adequate to support the proposed design, but some details require finalization. Conditions of approval are included to this effect.

The developer and property owner reports that water, sewer, and storm drainage utilities are present in Copperleaf Boulevard and can be extended into the site. They indicate the proposed development will be able to connect to these utilities as needed. None of the utility providers contacted through the external referral process expressed concerns about serving the project.

- b. *Assure compatibility between the proposed development, surrounding land uses and the natural environment.*

With the exception of the E-470 Tollway, all surrounding properties are all zoned and master planned by the Copperleaf PDP. This continuity in zoning provides ample opportunities to coordinate this proposal with existing activities and future development proposals.

There are various retail and neighborhood service businesses, places of worship, schools, and childcare providers located within or near the Copperleaf community.

Over the preceding decades the local environment has transitioned from shortgrass prairie to agricultural and then suburban development. No vestiges of the shortgrass prairie environment that predated human settlement of the area are evident in this location.

- c. *Allow for the efficient and adequate provision of public services. Applicable public services include, but are not limited to, police, fire, school, park, and libraries.*

The Copperleaf PDP includes provisions for dedicated school sites within the confines of the PDP. Mountain Vista Elementary School is located a quarter mile west of the Copperleaf No. 27 site. Sky Vista Middle School is located one and a quarter miles west of the Copperleaf No. 27 site. Eaglecrest High School is located three quarters of a mile southwest of the Copperleaf No. 27 site..

The proposal as submitted can be served by existing public and emergency services as evidenced by referral agency responses.

- d. *Enhance convenience for the present and future residents of Arapahoe County by ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another.*

Employment opportunities, retail services, and care options ranging from childcare to senior housing exist or are under construction in a retail/neighborhood services hub centered around the intersection of E Quincy Avenue and S Piccadilly Road. The Copperleaf Preliminary Development Plan also anticipates commercial uses on Quincy between Copperleaf Boulevard and E-470, north of this proposed development.

- e. *Ensure that public health and safety is adequately protected against natural and man-made hazards, which include, but are not limited to, traffic noise, water pollution, airport hazards, and flooding.*

The proposal adequately protects against natural and man-made hazards as evidenced by the Arapahoe County Engineering Services Division Report and referral agency responses.

- f. *Provide for accessibility within the proposed development, and between the development and existing adjacent uses. Adequate on-site interior traffic circulation, public transit, pedestrian avenues, parking and thoroughfare connections are all factors to be examined when determining the accessibility of a site.*

The Arapahoe County Planning, Engineering Services Divisions, and Open Space Department have evaluated the accessibility of the proposal and have determined that the proposed sidewalks comply with the standards established in the Copperleaf Development Agreement.

Roadside sidewalks are proposed on streets in the Filing 27 FDP. Additional non-street side internal walks providing more options for east/west and north/south movement though the site are proposed.

The Copperleaf 27 FDP depicts segments of a pedestrian trail from Copperleaf Boulevard to the E-470 trail. This trail is oriented along and crosses back and forth across the southern edge of Filing 27. The property owner's representative states that they will coordinate construction of this trail with the Copperleaf master developer. Arapahoe County Staff understand this trail will be constructed concurrently with this development.

- g. Minimize disruption to existing physiographic features, including vegetation, streams, lakes, soil types and other relevant topographical elements.*

No significant physiographic features exist on or adjacent to this site.

- h. Ensure that the amenities provided adequately enhance the quality of life in the area, by creating a comfortable and aesthetically enjoyable environment through conventions such as, the preservation of mountain views, the creation of landscaped open areas, and the establishment of recreational activities.*

The overall Copperleaf community public land dedications included open space contributions that were deemed adequate at the time the PDP was approved. No individual FDP or neighborhood is required to provide additional park facilities but some choose to do so. The Copperleaf 27 FDP includes a 0.67-acre park located on the west end of the development.

This FDP proposes two-story paired homes with peaked roofs that will be no more than 30' tall. These will be similar to existing homes, many of those being two story homes with peaked roofs, located near Filing 27. It should also be noted that this site is west of the E-470 Tollway. There are no homes or businesses on the Tollway property. Impacts to mountain views will be negligible.

- i. Enhance the usable open spaces in Arapahoe County, and provide sufficient unobstructed open spaces and recreational areas to accommodate a project's residents and employees.*

Recreational open space needs were anticipated in the Copperleaf master planned common open spaces, park sites, and recreation center. The Copperleaf 27 development is not specifically required to provide additional parks or recreational facilities, but includes a 0.67-acre park adjacent to Copperleaf Boulevard as part of the land required to satisfy the 20% open space requirement stated in the Copperleaf PDP.

The FDP criteria stated above, must be addressed prior to approval of a FDP request, and are intended to provide clarity of purpose and direction for applicants, neighbors, concerned citizens, and Arapahoe County decision-makers. As discussed, the proposed FDP meets the criteria.

4. Local Activity

The properties surrounding the subject property are part of the Copperleaf community, and consist of existing single-family detached residential neighborhoods, a power transmission line corridor that contains a pedestrian trail, vacant land, and the E-470 Tollway right of way. All the stated surrounding activities were anticipated when the PUD zoning for the Copperleaf master planned community was considered and approved.

5. Referral Comments

Comments received during the referral process are as follows: Applicant responses are in italics.

Arapahoe County Planning	Comments have been addressed
Arapahoe County Engineering	Comments are being addressed. A condition of approval is provided to address outstanding concerns regarding encroachment into the E-470 property
Arapahoe County Mapping	Comments have been addressed
Arapahoe County Sheriff	No response
Arapahoe County Zoning	Comments are being addressed
Arapahoe County Weed Control	No response
Arapahoe County Open Space	No comment
Arapahoe Parks and Recreation District	No comment
Army Corps Engineers	No response
Buckley Space Force Base	Direction is provided regarding obstacles to avigation during construction
CDOT	No response
Century Link	No response
Cherry Creek School District	"The Land dedication or cash-in-lieu fees for this project have been fulfilled with the Copperleaf land dedications for school sites."
City of Aurora	No comment
Colorado Division of Water Resources	"The proposed water supply can be provided without causing material injury to existing water rights and the supply is expected to be adequate"
Colorado Parks and Wildlife	No response
Copperleaf HOA	No response
Copperleaf Metro District #3	No response
E-470 Authority	No response to the referral. Subsequent conversations have revealed potential encroachment issues that are being addressed. A condition of approval addressing this matter is included.
East Cherry Creek Valley Water & Sanitation	Responded "ECCV has no comments at this time" and provided directions for proceeding with the project.
Library District	No response
RTD	No response

South Metro Fire Rescue District	Comments expressed during the initial review have been addressed through subsequent actions. A condition of approval requiring SMFD district acceptance of proposed solutions is included .
Tri-County Health	No response - Staff will verify that Tri County has no objection to the proposal.
Mile High Flood Control	No response to the referral. County engineering staff have referred the application to Mile High Flood Control and are working with this organization separately
US. Post Office	No response
West Arapahoe Conservation District	No response
Xcel	Comments providing pertained to the concurrent plat application and will be addressed in that context.

STAFF FINDINGS

Staff has visited the site and reviewed the plans, supporting documentation, referral comments, and citizen input in response to this application. Based on the review of applicable policies and goals, as set forth in the Comp Plan, review of the development regulations, and analysis of referral comments, our findings include:

1. The proposed FDP conforms to the overall goals and intent of the Arapahoe County Comp Plan in regards to the policies set forth in those plans.
2. The proposed FDP complies with the process and review criteria outlined in Chapter 13-100, PUD of the Land Development Code.
3. The proposed FDP is in substantial conformance with the Copperleaf PDP and subsequent amendments.

RECOMMENDATION

Considering the findings and other information provided herein, staff recommends approval of Case No. FDP21-002 Copperleaf No. 27 Final Development Plan subject to the following conditions:

1. Prior to signature of the final copy of these plans, the applicant must address Public Works Staff comments and concerns.
2. Prior to the issuance of grading permits, the applicant will provide evidence of a finalized agreement with the E-470 Authority that accommodates impacts or encroachments onto E-470 property required by the installation of facilities supporting Copperleaf Filing No. 27 development application FDP21-002.
3. Prior to signature of the final copy of these plans the applicant must provide a letter from the South Metro Fire District stating that SMFD comments and concerns have been addressed.

DRAFT MOTIONS (Planning Commission) – FDP21-002 Copperleaf No. 27 Final Development Plan

APPROVAL

In the case of FDP21-002 Copperleaf No. 27 Final Development Plan, I have reviewed the staff report, including all exhibits and attachments and have listened to the applicant’s presentation and any public comment as presented at the hearing and hereby move to recommend approval of this application based on the findings in the staff report, subject to the following conditions:

1. Prior to signature of the final copy of these plans the applicant must address Public Works Staff comments and concerns.
2. Prior to the issuance of grading permits, the applicant will provide evidence of a finalized agreement with the E-470 Authority that accommodates impacts or encroachments onto E-470 property required by the installation of facilities supporting Copperleaf Filing No. 27 development application FDP21-002.
3. Prior to signature of the final copy of these plans the applicant must provide a letter from the South Metro Fire District stating that SMFD comments and concerns have been addressed.

DENY

(This recommendation would not be consistent with the staff recommendation. Any alternate motion must include new findings and conditions in support of the motion for denial where those differ from the recommended findings and conditions):

In the case of FDP21-002 Copperleaf No. 27 Final Development Plan, I have reviewed the staff report, including all exhibits and attachments and have listened to the applicant’s presentation and any public comment as presented at the hearing and hereby move to recommend denial of this application based on the following findings:

Findings:

1. *State new or amended findings to support “Denial” as part of the motion.*
2. ...

CONTINUE

In the case of FDP21-002 Copperleaf No. 27 Final Development Plan, I move to continue the decision on this request to [DATE], 2022, date certain, at 6:30 p.m., at this same location [to receive further information] [to further consider information presented during the hearing].

(Verify location with staff before making a motion to continue)

Attachments:

- Application & Exhibits
- Engineering Staff Report
- Referral Comments

Bill Skinner

From: INGRUM, ROBERT P III GS-12 USAF SPOC 460 CES/CEN
<robert.ingrum@spaceforce.mil>
Sent: Tuesday, June 22, 2021 8:21 AM
To: Bill Skinner
Cc: Emily Gonzalez
Subject: RE: ARAPCO External Referral for FDP21-002 Copperleaf Filing No. 27 Final Development Plan
Attachments: RE: ARAPCO External Referral for FDP21-002 Copperleaf Filing No. 27 Final Development Plan

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

This is the cover sheet for the Buckley Air Force Base comment - see next page
(this page retained for e-mail address retention)

Warning this process can take up to 60 days, no exception

CRANES/BOOM EQUIPMENT Off Airfield

Lawrence Aragon (L.A.), Airfield Manager: 720-847-9731, lawrence.aragon.1@us.af.mil

Pete Mendoza, Asst. Airfield Manager: 720-847-6352, peter.mendoza.2@us.af.mil

Mandatory steps:

- Inform Airfield Management of cranes/booms that will be used during construction. Send map with marked location/address and MAXIMUM tip height of crane/equipment above ground level (see page 2). Airfield Management will send it to GeoBase for the Lat/Long and Elevation. Airfield Management will then in turn send it to our Terminal Procedure Representative for evaluation. This part of the process will general take approx. 5 business days.
- Airfield Management will inform the submitter if a FAA notification is needed IAW UFC 3-260-01 Appendix B Section 1 para. B14-5. The submitter will need to file an electronic form 7460-1 off airport form 30 days prior (14CFR Part 77 states 45 days prior) to start of construction for FAA for determination at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>. When FAA sends determination, Airfield Management will need a copy of the PDF document. NOTE: The sooner Airfield Management is notified the more we can help without delaying your construction.
- 72 hours (NLT 24 hours) prior to the crane/boom going up, Airfield Management will need to be contacted. Resend map with location, reemphasize max height of boom/crane, start and end dates, days of week and times it will be erect (see page 2). This will allow Airfield Management to post the NOTAMs for the Pilots in the area.
- Obstruction flags will need to be on top of crane/boom and obstruction lights may be needed if the equipment stays up between sunset and sunrise.

CRANES/BOOM EQUIPMENT On Airfield

Mandatory steps:

- A temporary construction waiver (TCW) will need to be initiated IAW UFC 3-260-01 Appendix B Section 1 para. B1-2.1.4 prior to construction to ensure full routing and approval from the Buckley Garrison Commander before the start; may take 60 days (Mike Mont-Eton will assist with the process).
- Inform the Airfield Manager of cranes/booms that will be used during construction. Send map with marked location/address and MAXIMUM tip height of crane/equipment above ground level (see page 2). Airfield Management will send it to GeoBase for the Lat/Long and Elevation. Airfield Management will then in turn send it to our Terminal Procedure representative for evaluation.
- Airfield Management will inform the submitter if a FAA notification is needed IAW UFC 3-260-01 Appendix B Section 1 para. B14-5. The submitter will need to file an electronic form 7460-1 off airport form 30 days prior (14CFR Part 77 states 45 days prior) to start of construction for FAA for determination at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>. When FAA sends determination, Airfield Management will need a copy of the PDF document and must be submitted with TCW Package for approval. NOTE: The sooner Airfield Management is notified the more we can help without delaying your construction.
- 72 hours (NLT 24 hours) prior to the crane/boom going up, Airfield Management will need to be contacted. Resend map with location, reemphasize max height of boom/crane, start and end dates, days of week and times it will be erect (see page 2). This will allow Airfield Management to post the NOTAMs for the Pilots in the area.
- Obstruction flags will need to be on top of crane/boom and obstruction lights may be needed if the equipment stays up between sunset and sunrise.
- If need to drive on the airfield, contact Pete Mendoza at x6352, peter.mendoza.2@us.af.mil

Example of Map in Relation to Runway with Required Data



55ft max height crane/boom

East side Hangar 801

1 June – 31 July 2019

Mon-Fri 7am-5pm



Vicky Lisi
Director, Planning & Enrollment

Instructional Support Facility
5416 S Riviera Way
Aurora, CO 80015
720.554.5053
vlisi@cherrycreekschools.org

January 11, 2022

Bill Skinner
Arapahoe County Public Works & Development
6924 South Lima Street
Centennial, CO 80112

Subject: Copperleaf M4 RAH – Will Serve
Case Number: PF21-002 & PF21-003
Single Family Paired Homes Development – **110 units**

To Whom it May Concern:

Cherry Creek School District No. 5 has reviewed the information provided by Arapahoe County regarding the specific development plan for the Copperleaf M4 RAH project and will provide educational services to the future residents of this project. Students from this project are within the current boundaries of Mountain Vista Elementary School, Sky Vista Middle School, and Eaglecrest High School. Boundaries are subject to change when necessary to promote the efficient utilization of school facilities.

The Land Dedication or cash-in-lieu fees for this project have been fulfilled with the Copperleaf land dedications for school sites.

Thank you for the opportunity to review this proposal. Should you need additional information from Cherry Creek Schools, please feel free to contact me.

Sincerely,

Vicky Lisi

Vicky Lisi
Director, Planning & Enrollment

Cc: Scott Smith – CCSD, Chief Financial & Operating Officer
David Henderson – CCSD, Deputy Chief of Operations

Bill Skinner

From: Cammarata, Brandon <bcammara@auroragov.org>
Sent: Tuesday, June 15, 2021 9:22 PM
To: Bill Skinner
Cc: Emily Gonzalez
Subject: RE: ARAPCO External Referral for FDP21-002 Copperleaf Filing No. 27 Final Development Plan

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

No Comments – Thank You

Brandon Cammarata, AICP
Current Planning Manager
Planning & Development Services | City of Aurora
office 303.739.7251 | fax 303.739.7268



[Facebook](#) | [Twitter](#) | [Instagram](#) | [Nextdoor](#) | [AuroraTV.org](#)

From: Bill Skinner <WSkinner@arapahoegov.com>
Sent: Tuesday, June 15, 2021 5:32 PM
To: Bill Skinner <WSkinner@arapahoegov.com>
Cc: Emily Gonzalez <EGonzalez@arapahoegov.com>
Subject: ARAPCO External Referral for FDP21-002 Copperleaf Filing No. 27 Final Development Plan

Please review documents found at the link below and click **reply** to return comments to me at this email address (bskinner@arapahoegov.com).

The enclosed development application has been submitted to the Arapahoe County Planning Office for consideration. Due to the close proximity of the proposed development to your property or area of influence this development proposal is being referred to your agency for comment. Please examine the referenced materials and check the appropriate line before emailing the form to me at the Arapahoe County Planning Office.

The FDP21-002 Copperleaf # 27 Final Development Plan proposes a site plan for residential development in the Copperleaf Community as shown in the referenced plans and seen here.





Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division - Referral Routing

Case Number/Name: PF21-002 Copperleaf Filing No. 27 Final Development Plan
 Planner: Bill Skinner
 Engineer: Emily Gonzalez
 Date sent: June 15, 2021
 Date to be returned: June 28, 2021 if possible, later as your agency is able.

The enclosed development application has been submitted to the Arapahoe County Planning Office for consideration. Due to the close proximity of the proposed development to your property or area of influence, this development proposal is being referred to your agency for comment. Please examine the referenced materials and check the appropriate line before returning the form to the Arapahoe County Planning Office. Responding on or before the date indicated above is appreciated.

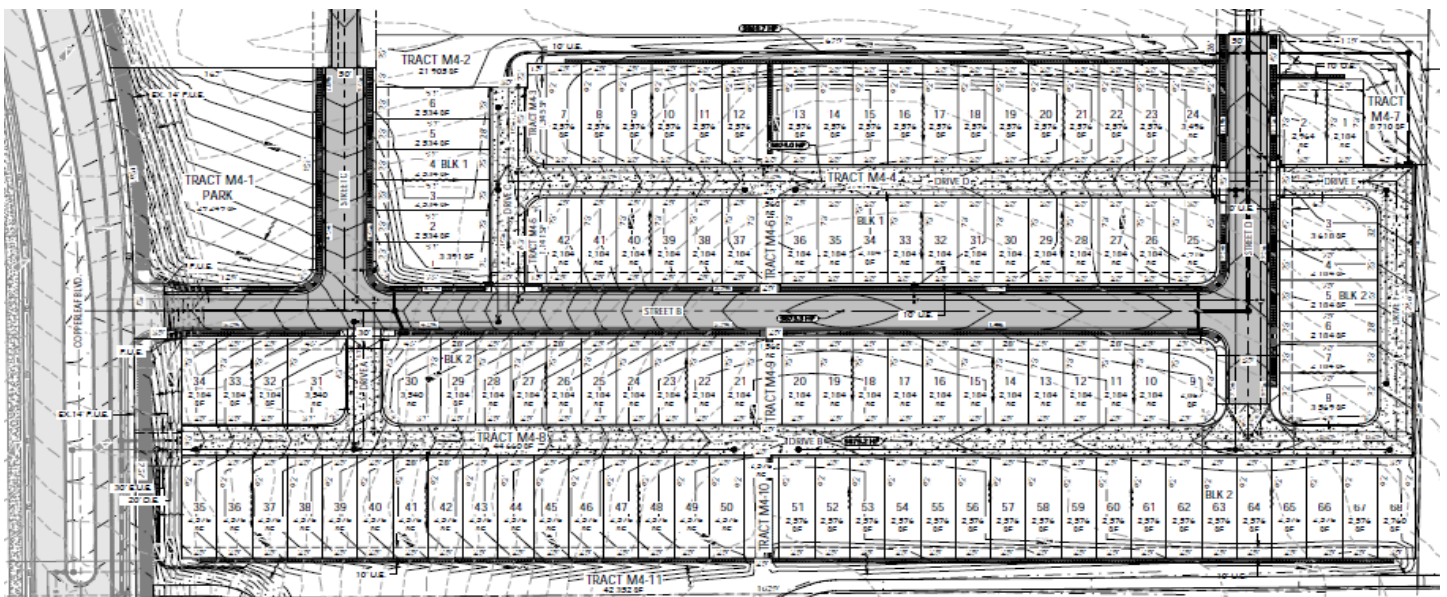
The FDP21-002 Copperleaf # 27 Final Plat Development Plan proposes a site plan for residential development in the Copperleaf Community as shown in the referenced plans and seen here.



SITE COVERAGE:

	ACREAGE	% TOTAL
PUBLIC RIGHT-OF-WAY	1.55	13.1%
NET RESIDENTIAL LOTS AREA	6.25	52.7%
AREA OF TRACTS	4.06	34.2%
TOTAL SITE	11.87	100.0%

GROSS AREA (AC)	11.87
NUMBER OF DWELLING UNITS (DU)	110
GROSS DENSITY (DU/AC)	9.27



	COMMENTS	INSERT YOUR ORGANIZATION & NAME/SIGNATURE
<input type="checkbox"/>	I have no comments to make on the cases as submitted:	
<input checked="" type="checkbox"/>	I have the following comments to make related to the cases:	East Cherry Creek Village Water and Sanitation District Brandon Felipe

Comments: (responding by email, letter, or an email attachment is optional)



June 28, 2021

Mr. Bill Skinner
Planner
Arapahoe County Public Works and Development
6924 S. Lima Street
Centennial, CO 80112

Subject: Review Copperleaf # 27 Final Development Plan (FDP21-002)
Submittal #1

Dear Mr. Skinner:

On June 15, 2021, East Cherry Creek Valley and Water and Sanitation District (ECCV) received the 1st referral submittal for Copperleaf # 27 Final Development Plan, dated May 21, 2021, for an 11.9 acre, 110 unit development.

ECCV does not have any comments on the plans. However, we do have the comments below for moving forward:

1. The Plans call the project Copperleaf Filing 26 and the Routing information call the project Copperleaf Filing 27. Please clarify which is correct.
2. Construction plans for water and sanitary sewer will need to be submitted to ECCV for review and approval. Design shall be in accordance with ECCV's rules and regulations and technical design criteria.
3. A water analysis will need to be done for all of Parcel M-4 to confirm water line sizes.
4. South Metro Fire Rescue Authority will need to sign the submittal of water plans.
5. Water and Sewer easements will need to be dedicated by separate document. Easements should be delineated by curb and gutter. The easements will need to be 30' in width.
6. Landscape and irrigation plans (including CAD files) will need to be submitted to ECCV for review and approval.

Thank you for providing us with the opportunity to review the above referenced project. Should you have any questions, please contact me at or Jamie Overgaard at Kennedy Jenks at 720-744-2208.

Copperleaf Filing #27 Final Development Plan
Page 2

Thank you,
East Cherry Creek Valley Water and Sanitation District

DocuSigned by:

Brandon Felipe

52702EFA071540F...

Brandon Felipe
Engineer

cc: Chris Douglas, ECCV
Jamie Overgaard, Kennedy Jenks
Tess Hogan, Innovative Land Consultants

6201 S. Gun Club Road | Aurora, CO 80016

Ph: 303.693.3800 | *Fx:* 303.699.1228 | www.eccv.org

Sustaining our community by providing safe, reliable water



June 17, 2021

Bill Skinner
Arapahoe County Public Works - Planning Division
Transmitted via email:
WSkinner@arapahoegov.com

RE: Copperleaf Filing No. 27 Final Plat and Final Development Plan
Case nos. PF21-003 and FDP21-002
NE1/4, Sec. 12, T5S, R66W, 6th P.M.
Water Division 1, Water District 2

Dear Mr. Skinner:

We have reviewed the information received by this office on June 15, 2021 regarding the above referenced referral. The applicant is proposing an 11.9 acre residential development consisting of 110 paired two-story alley-loaded homes.

Water Supply Demand

The referral information did not include a subdivision water supply plan. Prior to further review a water supply plan must be submitted. Details of necessary information to be included in the subdivision water supply plan can be found in the March 16, 2005 Memorandum to County Land Use Planning Directors

<https://dnrweblink.state.co.us/dwr/ElectronicFile.aspx?docid=3565889&dbid=0>

Source of Water Supply

The proposed water source is the East Cherry Creek Valley Water and Sanitation District ("District"). A letter of commitment from the District, dated February 17, 2021 ("District Letter"), was provided.

According to the District Letter, the District supplies water to approximately 21,000 single family equivalents ("SFE's"). At buildout, the District is expected to service approximately 23,500 SFE's and this project is included in the buildout demand. For planning purposes the District uses an annual demand of 0.6 acre-feet per SFE. Therefore, at build-out the projected water demand is 14,100 acre-feet per year.

According to information previously provided by the District they currently have approximately 12,500 acre-feet per year of decreed nontributary Denver Basin water and a permanent agreement with Denver Water for 771 acre-feet per year of treated water. In addition, the District is currently developing renewable surface water and groundwater supplies through a multi-phase project designed to deliver groundwater that is tributary to the South Platte River to the District (Northern Project) which will reduce reliance on the Denver Basin groundwater. According to the submitted information the District projects that 6,000 acre-feet of water will be available annually as a result of the Northern Project. Such quantity is subject to the terms and conditions of the augmentation plans under which the water is withdrawn. The District has also



obtained decrees in case nos. 00CW217 and 12CW220 that allow use of the District's lawn irrigation return flows.

The proposed source of water for this subdivision includes bedrock aquifer ground water in the Denver Basin. The State Engineer's Office does not have evidence regarding the length of time for which this source will be a physically and economically viable source of water.

According to 37-90-137(4)(b)(I), C.R.S., "Permits issued pursuant to this subsection (4) shall allow withdrawals on the basis of an aquifer life of one hundred years." Based on this allocation approach, the annual amounts of water decreed by the District in the Denver Basin are equal to one percent of the total amount, as determined by rules 8.A and 8.B of the Statewide Nontributary Ground Water Rules, 2 CCR 402-7. Therefore, the water may be withdrawn in those annual amounts for a maximum of 100 years.

State Engineer's Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(I), C.R.S. and Section 30-28-136(1)(h)(II), C.R.S., the State Engineer's office offers the opinion that with the District as the water supplier for the proposed development, the proposed water supply can be provided without causing material injury to existing water rights and the supply is expected to be adequate.

Our opinion that the water supply is **adequate** is based on our determination that the amount of Denver Basin groundwater required annually to serve the subdivision is physically available, based on current conditions.

Our opinion that the water supply can be **provided without causing injury** is based on our determination that the amount of Denver Basin groundwater that is legally available to the District on an annual basis, according to the statutory allocation approach, combined with the fully consumable water from Denver Water and augmented tributary groundwater is greater than the annual amount of water required to supply the District's water commitments at build-out, which the District states includes the demands of the proposed subdivision.

Our opinion is qualified by the following:

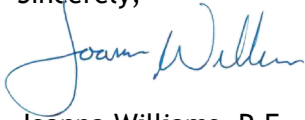
For the decreed Denver Basin water, the Division 1 Water Court has retained jurisdiction over the final amount of water available pursuant to the decrees referenced in the District's court cases, pending actual geophysical data from the aquifer.

The amounts of water in the Denver Basin aquifers, and identified in this letter, are calculated based on estimated current aquifer conditions. The source of water is from a non-renewable aquifer, the allocations of which are based on a 100 year aquifer life. The county should be aware that the economic life of a water supply based on wells in a given Denver Basin aquifer may be less than the 300 years used for allocation due to anticipated water level declines. We recommend that the county determine whether it is appropriate to require development of renewable water resources for this subdivision to provide for a long-term water supply.

Copperleaf Filing No. 27
June 17, 2021
Page 3 of 3

Should you or the applicant have any questions, please contact me at (303) 866-3581 x8265 or Joanna.Williams@state.co.us.

Sincerely,

A handwritten signature in blue ink that reads "Joanna Williams". The signature is written in a cursive style with a large initial 'J'.

Joanna Williams, P.E.
Water Resource Engineer

Ec: Subdivision File 27759



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

June 28, 2021

Arapahoe County Public Works and Development
6924 South Lima Street
Centennial, CO 80112

Attn: Bill Skinner

Re: Copperleaf Filing No. 27, Case #s PF21-003 and FDP21-002

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the final plat and final development plans for **Copperleaf F27** and requests confirmation that the 10-foot wide utility easements are dedicated for dry utility use, to include natural gas and electric **distribution** facilities.

PSCo requests that the following language or plat note is placed on the preliminary and final plats for the subdivision:

Utility easements are dedicated to Arapahoe County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television, cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation. Public Service Company of Colorado (PSCo) and its successors reserve the right to require additional easements and to require the property owner to grant PSCo an easement on its standard form.

Please be aware PSCo owns and operates existing underground electric **distribution** facilities along East Quincy Avenue and the Gun Club frontage road, including a switch cabinet. The property owner/ developer/contractor must complete the application process for any new natural gas or electric service or modification to existing facilities via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

If additional easements need to be acquired by separate PSCo document, a Right-of-Way

Agent will need to be contacted.

Please note that the north arrow on Sheet 3 of the plat may be incorrect.

PSCo also has existing electric **transmission** facilities south of the subject property. Should there be any off-site activities in this area, the property owner/developer/contractor must contact our Siting and Land Rights Department at either of the following:

website: www.xcelenergy.com/rightofway

email: coloradorightofway@xcelenergy.com

Donna George

Right of Way and Permits

Public Service Company of Colorado dba Xcel Energy

Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division - Referral Routing


Case Number/Name:	PF21-003 Copperleaf Filing No. 27 Final Plat
Planner:	Bill Skinner
Engineer:	Emily Gonzalez
Date sent:	June 15, 2021
Date to be returned:	June 28, 2021 if possible, later as your agency is able.

The enclosed development application has been submitted to the Arapahoe County Planning Office for consideration. Due to the close proximity of the proposed development to your property or area of influence, this development proposal is being referred to your agency for comment. Please examine the referenced materials and check the appropriate line before returning the form to the Arapahoe County Planning Office. Responding on or before the date indicated above is appreciated.

The PF21-003 Copperleaf # 27 Final Plat proposes subdivision of lots for residential development in the Copperleaf Community located south west of the intersection of E Quincy and E-470 as shown in the referenced plans and the table seen here.

SUBDIVISION DATA TABLE

	TOTALS
GROSS AREA	76.965 ACRES
GROSS DENSITY	1.429 DU / ACRE
NUMBER OF SINGLE FAMILY DETACHED RESIDENTIAL LOTS	110
NUMBER OF TRACTS	12
AREA OF TRACTS	69.157 ACRES
AREA OF STREET RIGHT-OF-WAY	1.553 ACRES
NET AREA	6.255 ACRES
NET DENSITY	17.585 DU / ACRE
MINIMUM SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	2,184 SQUARE FEET
MAXIMUM SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	3,618 SQUARE FEET
AVERAGE SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	2,476 SQUARE FEET

	COMMENTS	INSERT YOUR ORGANIZATION & NAME/SIGNATURE
<input checked="" type="checkbox"/>	I have no comments to make on the cases as submitted:	 District Manager Arapahoe Park and Recreation District
<input type="checkbox"/>	I have the following comments to make related to the cases:	

Comments: (responding by email, letter, or an email attachment is optional)



Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division - Referral Routing

Case Number/Name:	PF21-003 Copperleaf Filing No. 27 Final Plat
Planner:	Bill Skinner
Engineer:	Emily Gonzalez
Date sent:	June 15, 2021
Date to be returned:	June 28, 2021 if possible, later as your agency is able.

The enclosed development application has been submitted to the Arapahoe County Planning Office for consideration. Due to the close proximity of the proposed development to your property or area of influence, this development proposal is being referred to your agency for comment. Please examine the referenced materials and check the appropriate line before returning the form to the Arapahoe County Planning Office. Responding on or before the date indicated above is appreciated.

The PF21-003 Copperleaf # 27 Final Plat proposes subdivision of lots for residential development in the Copperleaf Community located south west of the intersection of E Quincy and E-470 as shown in the referenced plans and the table seen here.

SUBDIVISION DATA TABLE

	TOTALS
GROSS AREA	76.965 ACRES
GROSS DENSITY	1.429 DU / ACRE
NUMBER OF SINGLE FAMILY DETACHED RESIDENTIAL LOTS	110
NUMBER OF TRACTS	12
AREA OF TRACTS	69.157 ACRES
AREA OF STREET RIGHT-OF-WAY	1.553 ACRES
NET AREA	6.255 ACRES
NET DENSITY	17.585 DU / ACRE
MINIMUM SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	2,184 SQUARE FEET
MAXIMUM SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	3,618 SQUARE FEET
AVERAGE SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	2,476 SQUARE FEET

	COMMENTS	INSERT YOUR ORGANIZATION & NAME/SIGNATURE
<input checked="" type="checkbox"/>	I have no comments to make on the cases as submitted:	<u>Arapahoe County Open Spaces. Roger Harvey</u>
<input type="checkbox"/>	I have the following comments to make related to the cases:	

Comments: (responding by email, letter, or an email attachment is optional)



Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division - Referral Routing

Case Number/Name: PF21-002 Copperleaf Filing No. 27 Final Development Plan
 Planner: Bill Skinner
 Engineer: Emily Gonzalez
 Date sent: June 15, 2021
 Date to be returned: June 28, 2021 if possible, later as your agency is able.

The enclosed development application has been submitted to the Arapahoe County Planning Office for consideration. Due to the close proximity of the proposed development to your property or area of influence, this development proposal is being referred to your agency for comment. Please examine the referenced materials and check the appropriate line before returning the form to the Arapahoe County Planning Office. Responding on or before the date indicated above is appreciated.

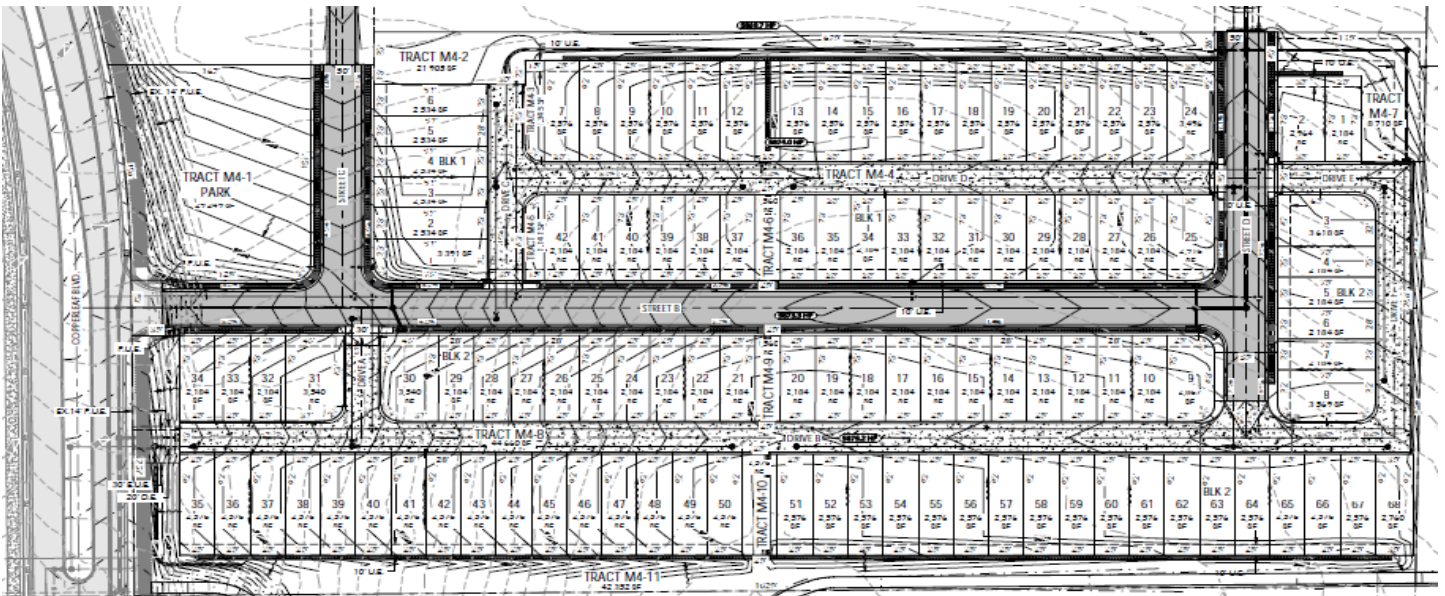
The FDP21-002 Copperleaf # 27 Final Plat Development Plan proposes a site plan for residential development in the Copperleaf Community as shown in the referenced plans and seen here.



SITE COVERAGE:

	ACREAGE	% TOTAL
PUBLIC RIGHT-OF-WAY	1.55	13.1%
NET RESIDENTIAL LOTS AREA	6.25	52.7%
AREA OF TRACTS	4.06	34.2%
TOTAL SITE	11.87	100.0%

GROSS AREA (AC)	11.87
NUMBER OF DWELLING UNITS (DU)	110
GROSS DENSITY (DU/AC)	9.27



	COMMENTS	INSERT YOUR ORGANIZATION & NAME/SIGNATURE
<input checked="" type="checkbox"/>	I have no comments to make on the cases as submitted:	Arapahoe County Open Spaces. Roger Harvey
<input type="checkbox"/>	I have the following comments to make related to the cases:	

Comments: (responding by email, letter, or an email attachment is optional)



Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division - Referral Routing

Case Number/Name:	PF21-003 Copperleaf Filing No. 27 Final Plat
Planner:	Bill Skinner
Engineer:	Emily Gonzalez
Date sent:	June 15, 2021
Date to be returned:	June 28, 2021 if possible, later as your agency is able.

The enclosed development application has been submitted to the Arapahoe County Planning Office for consideration. Due to the close proximity of the proposed development to your property or area of influence, this development proposal is being referred to your agency for comment. Please examine the referenced materials and check the appropriate line before returning the form to the Arapahoe County Planning Office. Responding on or before the date indicated above is appreciated.

The PF21-003 Copperleaf # 27 Final Plat proposes subdivision of lots for residential development in the Copperleaf Community located south west of the intersection of E Quincy and E-470 as shown in the referenced plans and the table seen here.

SUBDIVISION DATA TABLE

	TOTALS
GROSS AREA	76.965 ACRES
GROSS DENSITY	1.429 DU / ACRE
NUMBER OF SINGLE FAMILY DETACHED RESIDENTIAL LOTS	110
NUMBER OF TRACTS	12
AREA OF TRACTS	69.157 ACRES
AREA OF STREET RIGHT-OF-WAY	1.553 ACRES
NET AREA	6.255 ACRES
NET DENSITY	17.585 DU / ACRE
MINIMUM SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	2,184 SQUARE FEET
MAXIMUM SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	3,618 SQUARE FEET
AVERAGE SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	2,476 SQUARE FEET

	COMMENTS	INSERT YOUR ORGANIZATION & NAME/SIGNATURE
<input checked="" type="checkbox"/>	I have no comments to make on the cases as submitted:	<u>East Cherry Creek Valley Water and Sanitation District</u> <u>Brandon Felipe</u>
<input type="checkbox"/>	I have the following comments to make related to the cases:	

Comments: (responding by email, letter, or an email attachment is optional)



Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division - Referral Routing

Case Number/Name:	PF21-003 Copperleaf Filing No. 27 Final Plat
Planner:	Bill Skinner
Engineer:	Emily Gonzalez
Date sent:	June 15, 2021
Date to be returned:	June 28, 2021 if possible, later as your agency is able.

The enclosed development application has been submitted to the Arapahoe County Planning Office for consideration. Due to the close proximity of the proposed development to your property or area of influence, this development proposal is being referred to your agency for comment. Please examine the referenced materials and check the appropriate line before returning the form to the Arapahoe County Planning Office. Responding on or before the date indicated above is appreciated.

The PF21-003 Copperleaf # 27 Final Plat proposes subdivision of lots for residential development in the Copperleaf Community located south west of the intersection of E Quincy and E-470 as shown in the referenced plans and the table seen here.

SUBDIVISION DATA TABLE

	TOTALS
GROSS AREA	76.965 ACRES
GROSS DENSITY	1.429 DU / ACRE
NUMBER OF SINGLE FAMILY DETACHED RESIDENTIAL LOTS	110
NUMBER OF TRACTS	12
AREA OF TRACTS	69.157 ACRES
AREA OF STREET RIGHT-OF-WAY	1.553 ACRES
NET AREA	6.255 ACRES
NET DENSITY	17.585 DU / ACRE
MINIMUM SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	2,184 SQUARE FEET
MAXIMUM SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	3,618 SQUARE FEET
AVERAGE SINGLE FAMILY DETACHED RESIDENTIAL LOT AREA	2,476 SQUARE FEET

	COMMENTS	INSERT YOUR ORGANIZATION & NAME/SIGNATURE
<input type="checkbox"/>	I have no comments to make on the cases as submitted:	
<input checked="" type="checkbox"/>	I have the following comments to make related to the cases: Please see attached letter	<u>Jeff Sceili – Plan Reviewer – South Metro Fire Rescue</u>

Comments: (responding by email, letter, or an email attachment is optional)

SOUTH METRO FIRE RESCUE FIRE MARSHAL'S OFFICE



Bill Skinner, AICP, Senior Planner
 Arapahoe County Public Works – Planning Division
 6924 S. Lima St, Centennial CO 80112
 720-874-6651
 bskinner@arapahoegov.com

Project Name: Copperleaf Filing No. 27
 Project File #: FDP21-002 & PF21-003
 S Metro Review #: REFFDP21-00142

Review date: June 17, 2021

Plan reviewer: Jeff Sceili
 720-989-2244
Jeff.Sceili@Southmetro.org

Project Summary: Final Development Plan and Plat Final

Code Reference: 2018 Fire Code Edition, 2015 Building Code Edition

South Metro Fire Rescue (SMFR) has reviewed the above project and has disapproved the plans based on the following comments that must be resolved prior issuance of any permits. Applicants and Contractors are encouraged to contact SMFR regarding the applicable permit requirements for the proposed project.

COMMENTS:

1. Provide # of floors and square footage of proposed structures
2. Provide a street name and addressing plan.
3. Is this a phased development? This site requires two points of access and is dependent upon filings No.'s 28 and 29 for access. IFC 2018 Appendix D limits 30 single access to 30 dwelling units where one point of access is provided.
4. Provide an Autoturn analysis.
5. Fire lanes will and signs will be required. Provide a fire lane plan. Request inclusion into Arapahoe county's Fire Lane program.
6. Provide a proposed parking diagram. Will there be street parking or guest parking and how will this affect site access?
7. Access to front door of units on the north and south of the site particularly is excessive. One measured access is over 450'. Consider how paramedic and package delivery will be affected. Provide sidewalk access on both ends as well as centrally.
8. Provide proposed water distribution layout.

Fire Flow per Appendix B

Construction Type	Building Area (SF)	Fire Flow (GPM)	Sprinkler System (Type)	Reduced Fire Flow

SOUTH METRO FIRE RESCUE FIRE MARSHAL'S OFFICE



FIRE ACCESS ROAD DESIGN CRITERIA



BUILDING exterior walls (and any portion thereof) of any buildings that are more than 150 feet from the curb line of a public street shall be served by a Fire Apparatus Access Road which shall be unobstructed. This distance is measured by an approved route around the exterior of the building or facility. Additional allowances may be made for some sprinkler protected structures. Alternate access arrangements may be accepted based on site conditions and building fire protection features.

Due to the possibility of heavy vehicle traffic, residential and commercial collector and arterial roads may not be considered adequate for fire suppression operations; no credit for access to perimeter of buildings shall be given from collectors or arterials, unless specifically approved.

Sites not be capable of meeting these requirements and any alternative means must be evaluated and approved by the Fire Marshal.

SOUTH METRO FIRE RESCUE

FIRE MARSHAL'S OFFICE

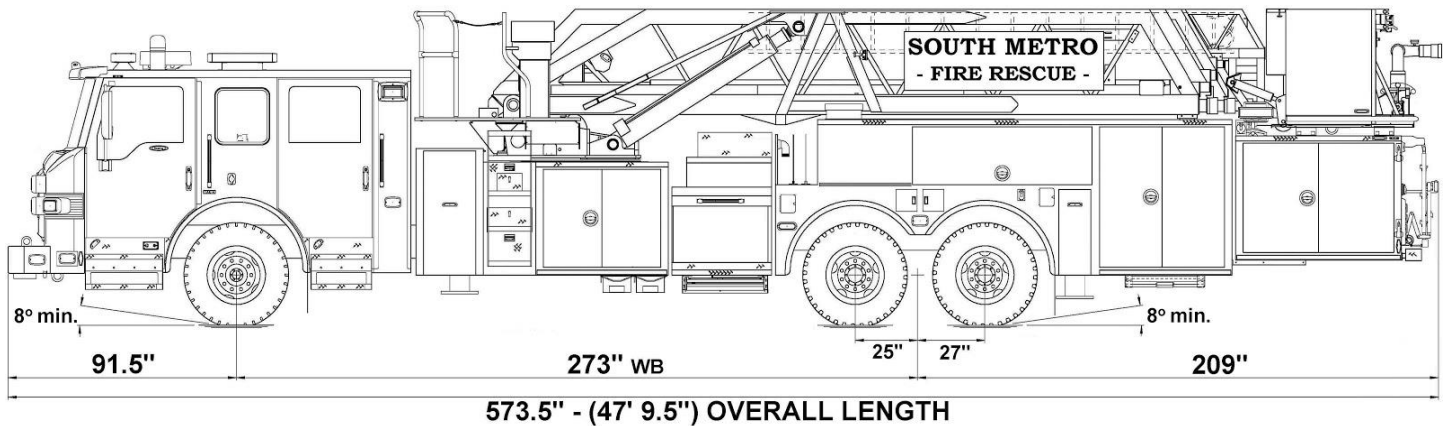


FIRE APPARATUS ACCESS ROADS shall be of an all-weather surface capable of supporting the imposed loads of fire apparatus. Maximum grade on site shall not exceed six percent (6%). Roads shall be asphalt or concrete. Other surfaces may be accepted on a case by case basis.

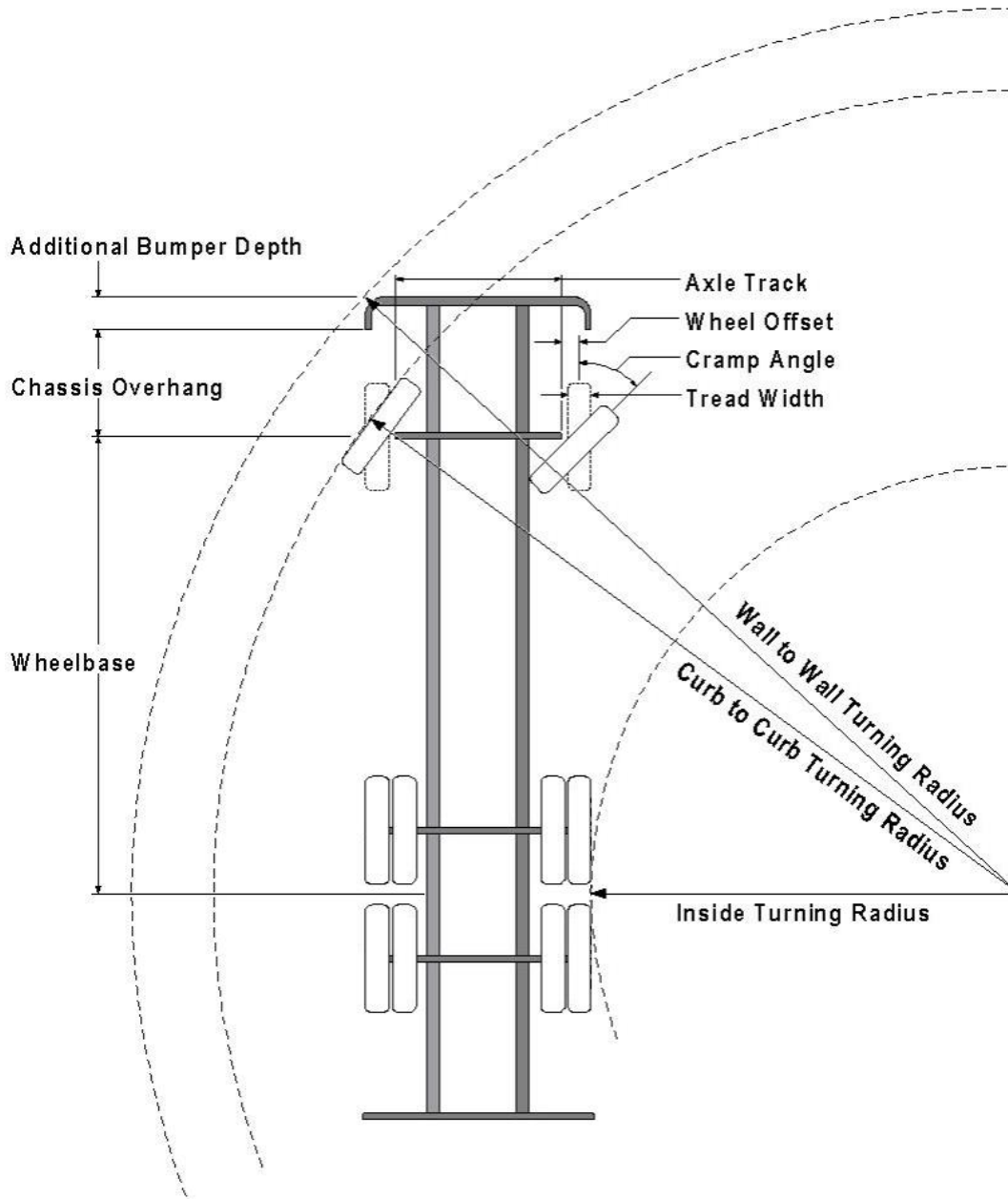
The minimum unobstructed width of the fire apparatus access road shall be 20 feet. In order to maintain the minimum width and prevent obstructions such as parking of vehicles fire lane signs shall be installed in an approved manner. A minimum vertical clearance of 13 feet, 6 inches shall be maintained for the entire required width of the access road.

Any dead-end access road over 150 feet long shall be provided with an approved turnaround that may be a circle, tee, hammerhead, or other functional approved design.

VEHICLE SPECIFICATIONS are provided for the largest apparatus in use by South Metro Fire Rescue. Fire Apparatus Access Roads shall be capable of accommodating this apparatus.



SOUTH METRO FIRE RESCUE FIRE MARSHAL'S OFFICE



Vehicle Specifications

Length: 47' 9.5"

Width: 8' 5" - (10' 1" mirror to mirror)

Height: 10' 9"

Wheelbase: 273 in.

SOUTH METRO FIRE RESCUE

FIRE MARSHAL'S OFFICE



Design load: 80,000 pounds

Inside Cramp Angle: 40°

Axle Track: 83"

Wheel Offset: 5.3"

Tread Width: 13.5"

Turning Radii:

Inside Turn: 26 ft. 1 in.

Curb to curb: 41 ft. 11 in.

Wall to wall: 46 ft. 8 in.

Where objects are present adjacent to the fire apparatus access road, particularly on turns and turn arounds which require backing, a reasonable safety margin shall be provided to prevent potential damage to the property and to the fire apparatus.

PRIVATE ROADS that provide access to more than two dwellings or one or more commercial buildings shall be constructed to meet the roadway standards approved by the South Metro Fire Rescue Authority for fire apparatus access. Private roads that do not meet the roadway standard may be accepted provided that alternative methods and materials are incorporated into the subdivision that address the fire and life safety of the citizens.



BRYAN D. WEIMER, PWLF
Director

Lima Plaza
6924 South Lima Street
Centennial, Colorado 80112-3853
720-874-6500
arapahoegov.com

Planning Commission's Summary Report

Date: January 11, 2022

To: Arapahoe County Planning Commission

Through: Bill Skinner, Planning Division

Through: Chuck Haskins, PE
Engineering Services Division, Manager

From: Emily Gonzalez, PE
Engineering Services Division



Case name: FDP21-002 and PF21-003 Copperleaf Filing 27

Purpose and Recommendation

The purpose of this report is to communicate the Engineering Services Staff findings, comments, and recommendations regarding the land use application(s) identified above.

Scope/Location:

The project is a single-family attached development consisting of 110 paired two-story alley-loaded homes over 11.9 acres for a total density of 9.2 du/ac. Each homes include a rear-loaded 2-car garage. Two lot sizes are proposed within the site, 28'x80' and 28'x92' lots. Deeper lots accommodate additional driveway parking to the rear of the home. Homes are arranged to front onto public roads, common open spaces, or private park space and are generally oriented east/west within walkable blocks.

Engineering Services Staff has reviewed the land use application(s) and has the following findings and comments:

1. This parcel is split between East Toll Gate and West Toll Gate drainage basins.
2. This development will require a Subdivision Improvement Agreement (SIA) to guarantee on-site and off-site public improvements for each proposed Final Plat.
3. Arapahoe County is responsible for the GESC permit and stormwater review in this area as SEMSWA has opted out of reviewing the Copperleaf Development as a whole.
4. This parcel is within the East Cherry Creek Valley Water & Sanitation District service area.
5. Access for this development is taken off of Copperleaf Blvd.
6. Directly to the south of this development is PSCO ROW and to the east is E-470 ROW.
7. Developments adjacent to this property include Copperleaf Filing 9, Copperleaf Filing 10, and Copperleaf Filing 28 (in process).

8. The overall development of Copperleaf Planning Area M (Copperleaf Filings 27, 28, and 29) is required to reimburse the County for improvements to Quincy Avenue in the amount of \$1,166,075.65 before the issuance of the first building permit in the property.
9. Development of Planning Area M triggers the design and construction of east side of Copperleaf Boulevard per the original Copperleaf Developer's Agreement. The improvements to Copperleaf Boulevard are under review separately from the Filing 27 development and are included in case EE21-048. Also included in case EE21-048 is a second left turn lane from west bound Quincy Avenue onto south bound Copperleaf Blvd. which is warranted by this development. These improvements are to be underway before construction can begin on Copperleaf Filing 27 per the Copperleaf overall DA.
10. An offsite sub-regional water quality pond is being used to provide water quality for the portion of Copperleaf Filing 27 which is tributary to the East Toll Gate Creek Basin. The pond improvements are included in case number EE21-059 and the pond is to be constructed prior to Filing 27. In order to prevent release of sediment into the pond a sediment basin is to be utilized during construction.
11. Because a portion of the developed flows from Copperleaf Filing 27 are intended to be routed through Filings 28 and 29 storm sewer, an interim condition is to be designed to route stormwater flows through Filings 28 and 29 and to the water quality pond.
12. Detention for the portion of the development in East Toll Gate Creek Basin is provided in a downstream regional SEMSWA facility.
13. The portion of Filing 27 which is tributary to West Toll Gate Creek Basin is tributary to an existing Copperleaf detention and water quality pond.
14. Temporary access to Copperleaf Boulevard through the future Copperleaf Filing 28 is to be maintained per South Metro Fire District requirements in order to provide a second point of access to the development.

Engineering Services Staff is recommending the land use application(s) favorably subject to the following conditions:

1. The applicant agrees to address the Division of Engineering Services' findings, comments, and concerns as identified within the staff report.
2. The applicant agrees to address South Metro Fire District's comments and concerns.
3. The applicant agrees to reimburse the County for improvements to Quincy Avenue.
4. A pavement design is required prior to construction.
5. The applicant executes a Subdivision Improvement Agreement with the County.
6. The applicant obtains confirmation from Filing 28 and 29 that a temporary outfall condition from Filing 27 to the water quality pond can be constructed across their properties in the case of Filing 27 proceeding prior to Filings 28 & 29.

May 21, 2021

Arapahoe County Public Works & Development

Planning Division

6924 S Lima St
Centennial, CO 80112

RE: Copperleaf M-4 RAH, Final Development Plan & Final Plat

Dear Public Works & Development,

Our Company, Norris Design, on behalf of the property owner, QW Developers, Inc., is proposing a project within unincorporated Arapahoe County. The project is located near the southeast corner of Copperleaf Boulevard and E. Raddcliff Parkway (Parcel #2073-12-1-02-013). The project includes 11.9 acres (517,063 SF) and is currently zoned Copperleaf MU-PUD.

The project is a single-family attached development consisting of 110 paired two-story alley-loaded homes over 11.9 acres for a total density of 9.2 du/ac. Each homes include a rear-loaded 2-car garage. Two lot sizes are proposed within the site, 28'x80' and 28'x92' lots. Deeper lots accommodate additional driveway parking to the rear of the home. Homes are arranged to front onto public roads, common open spaces, or private park space and are generally oriented east/west within walkable blocks.

A north/south pedestrian open space corridor extends into the site from the north and runs adjacent to a 0.6-acre private park. Park elements include walking paths, benches and trash receptacles, a multi-use turf area and play structure designed to accommodate children ages 5-12. Additionally, east/west pedestrian connectivity is encouraged through a proposed trail connection along the north and south side of the neighborhood, as well as through detached walks along the internal roadway and a north-south mid-block corridor. The internal trail systems proposed connect residents to the larger regional trail corridor located within the PSCo easement to the south as well as to activity centers to the north within the Towne Centre. Twenty percent (20.0%) open space is proposed within this application.

The following consultant team have been assembled to provide the accompanying plans and are available should any questions arise.

Owner	Applicant/ Developer	Planning & Entitlements
QW Developers, Inc. Daniel Frank 7400 E. Orchard Rd. #290-S Greenwood Village, CO 80111 dfrank@centregrp.com 303-573-0066	Richmond American Homes Jason Pock 4350 S. Monaco Street Denver, CO 80237 Jason.pock@mdch.com 720-977-3827	Norris Design Diana Rael 1101 Bannock Street Denver, CO 80204 drael@norris-design.com 303-892-1166



Civil Engineer

Innovative Land Consultants, Inc.
Tess Hogan
12071 Tejon Street, Suite 470
Westminster, CO 80234
tess@innovativelandinc.com
303-421-4224

Landscape Architect

Norris Design
Sean Malone
1101 Bannock Street
Denver, CO 80204
smalone@norris-design.com
303-892-1166

Surveyor

Aztec Consultants, Inc.
Jim Lynch
300 E. Mineral Ave, Suite 1
Littleton, CO 80122
jlynch@aztecconsultants.com
720-724-3870

Photometrics

Studio Lightning
Jacob Bennefield
63 Sunset Dr.
Bailey, CO 80421
jacob@studiolightningco.com
303-242-1572

Final Plat Approval Criteria:

1. The Applicant has provided evidence that provision has been made for a public water supply system, and if other methods of water supply are proposed, adequate evidence that a water supply is sufficient in terms of quantity, quality and dependability for the type of subdivision proposed [Section 30-28-133(6)(a) C.R.S.]
Response: Copperleaf M-4 will have adequate water supply as negotiated between the Metropolitan District and E.C.C.V. through the Tap Purchase Agreement. Please reference Will-Serve letters included with this application.
2. The Applicant has provided evidence that provision has been made for a public sewage disposal system, and, if other methods of sewage disposal are proposed, adequate evidence that such system shall comply with State and local laws and regulations [Section 30-28-133(6)(b) C.R.S.]; and
Response: Copperleaf M-4 will have adequate sewer provided. Please reference the Will-Serve letters included with this application.
3. The Applicant has provided evidence to show that all areas of the proposed subdivision which may involve soil or topographical conditions presenting hazards or requiring special precautions have been identified by the subdivider and that the proposed uses of these areas are compatible with such conditions. [Section 30-28-133 (6) (c) C.R.S.]
Response: Copperleaf M-4 includes steeper slopes adjacent to Copperleaf Boulevard, however necessary precautions are contemplated. Please reference the Civil CDs as well as the Soils Report included with this application.
4. The application is in compliance with all applicable zoning regulations governing the property as adopted by the Board of County Commissioners.
Response: Copperleaf M-4 is in compliance with the underlying zoning of Mixed Use- PUD as well as the guidelines set forth through the Metropolitan District.

5. The application is in compliance with the Mineral Resource Areas in the Regulations for Areas of Special Interest as adopted in the Arapahoe County Zoning Regulations.

Response: This subject area does not fall within the Areas of Special Interest noted in Appendix B-8 of the Comprehensive Plan.

6. For property zoned for residential uses, written evidence must be presented to show that the applicable school district can adequately serve the student population expected to be generated from the development. The Board may deny a subdivision request for which the evidence shows that the applicable school district cannot adequately serve the student population generated by the development.

Response: The Applicant will work with the School District to ensure that capacity is sufficient for the 110 single-family attached homes proposed with this application.

We look forward to continuing our work with Arapahoe County on this next phase of the Copperleaf community.

Sincerely,

Norris Design



Samantha Crowder
Senior Associate

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5 SOUTH, RANGE 66
WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO

COVER SHEET
SHEET 1 OF 18

VICINITY MAP



SCALE 1" = 200'

TRACT DESIGNATION TABLE FOR OPEN SPACE					
TRACT	USE	AREA (SF)	AREA (AC)	FUT. MAINT.	FUT. OWNER
TRACT A	STREET LANDSCAPE BUFFER, P.U.E., D.E., U.E.	1,193,786	27.41	HOA	HOA
TRACT B	STREET LANDSCAPE BUFFER, P.U.E., D.E., U.E.	1,641,763	37.69	HOA	HOA
TRACT C	PARK	29,249	0.67	HOA	HOA
TRACT D	STREET LANDSCAPE BUFFER, D.E.,	21,905	0.50	HOA	HOA
TRACT E	STREET LANDSCAPE BUFFER	1,355	0.03	HOA	HOA
TRACT F	PRIVATE STREET, STREET LANDSCAPE BUFFER, P.U.E., D.E., U.E.	21,914	0.50	HOA	HOA
TRACT G	STREET LANDSCAPE BUFFER, P.U.E., D.E., U.E.	1,141	0.03	HOA	HOA
TRACT H	STREET LANDSCAPE BUFFER	1,560	0.04	HOA	HOA
TRACT I	STREET LANDSCAPE BUFFER, P.U.E., D.E.	8,710	0.20	HOA	HOA
TRACT J	PRIVATE STREET, STREET LANDSCAPE BUFFER, P.U.E., D.E., U.E.	44,865	1.03	HOA	HOA
TRACT K	STREET LANDSCAPE BUFFER	1,560	0.04	HOA	HOA
TRACT L	STREET LANDSCAPE BUFFER	1,163	0.03	HOA	HOA
TRACT M	STREET LANDSCAPE BUFFER, D.E.	42,643	0.98	HOA	HOA
TRACT N	STREET LANDSCAPE BUFFER	2,428	0.06	HOA	HOA
TRACT O	STREET LANDSCAPE BUFFER	1,278	0.03	HOA	HOA
TRACT P	STREET LANDSCAPE BUFFER	1,229	0.03	HOA	HOA
TOTAL:		3,016,550	69.25		

SITE COVERAGE:		
	ACREAGE	% TOTAL
PUBLIC RIGHT-OF-WAY	1.55	2.0%
PRIVATE RIGHT-OF-WAY	1.53	2.0%
NET RESIDENTIAL LOTS	6.16	8.0%
TRACTS - INCLUDED IN FDP	2.62	3.4%
TRACTS - NOT INCLUDED IN FDP	65.10	84.6%
SUBTOTAL - AREA INCLUDED IN FDP	11.87	15.4%
SUBTOTAL - AREA NOT INCLUDED IN FDP	65.10	84.6%
TOTAL:	76.97	100.0%

DWELLING UNIT DENSITY	
GROSS AREA (AC) IN FDP	11.87
DWELLING UNITS (DU)	110
GROSS DENSITY (DU/AC)	9.27

GENERAL ABBREVIATIONS

A.E. ACCESS EASEMENT	P. PAVEMENT	PC. POINT OF CURVATURE
BKL. BIKE LANE	PCR. POINT OF COMPOUND CURVATURE	PCL. POINT OF CURB RETURN
BL CONST. BASELINE OF CONSTRUCTION	PCL. PROFILE GRADE LINE	PRC. POINT OF REVERSE CURVATURE
BS. BOTTOM ELEVATION OF RISE	P.U.E. PUBLIC UTILITY EASEMENT	PT. POINT OF TANGENCY
B.S.I. BY SEPARATE INSTRUMENT	R.O.W. RIGHT OF WAY	RN. RECORDING NUMBER
CE. CURB EXTENSION	S.E. SANITARY EASEMENT	SEC. SECTION LINE
CL. CENTERLINE	SEL. SANITARY LINE	SS. SANITARY SERVICE
CT. CURB TRANSITION	SS. SANITARY SERVICE	SW. SIDEWALK
C.W.N. CROWN	SW. SIDEWALK	T.A.E. TEMP. ACCESS EASEMENT
DBO. DESIGN BY OTHERS	T.B. THRUST BLOCK	TC. TOP OF CURB
DC. MEDIAN CURB & GUTTER	TC. TOP OF CURB	T.R.E. TRANSPORTATION EASEMENT
D.E. DRAINAGE EASEMENT	T.R.E. TRANSPORTATION EASEMENT	TS. TOP ELEVATION OF RISER
D.U.E. DRAINAGE & UTILITY EASEMENT	U.E. UTILITY EASEMENT	U.G.E. UTILITY & GAS EASEMENT
EOP. EDGE OF PAVEMENT	U.G.E. UTILITY & GAS EASEMENT	P.U.E. PUBLIC UTILITY EASEMENT
E.U.E. ECCV UTILITY EASEMENT	V.C. VERTICAL CURB & GUTTER	W.E. WATER EASEMENT
FES. FLARED END SECTION	W.L. WATER LINE	W.S. WATER SERVICE
FGS. FINISHED GROUND AT BOTTOM WALL ELEVATION	WS. WATER SERVICE	W.S.W. WATER SURFACE ELEVATION
FGT. FINISHED GROUND AT TOP WALL ELEVATION	WV. WATER VALVE	
FH. FIRE HYDRANT		
FL. FLOWLINE		
FV. FIELD VERIFY		
G. FINISHED GROUND		
G.E. GAS EASEMENT		
GV. GATE VALVE		
HP. HIGH POINT		
LL. LOT LINE		
LP. LOW POINT		
MC. MOUNTABLE CURB & GUTTER		
MH. MANHOLE		
MSE. MECHANICALLY STABILIZED EARTH		

BASIS OF BEARING:

BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATION BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983 CENTRAL ZONE (NAD 83, 2011) REFERENCED TO THE SOUTHERLY BOUNDARY OF LOT 1, BLOCK 6, COPPERLEAF FILING NO. 2, BEING MONUMENTED AS SHOWN HEREON, TAKEN TO BEAR SOUTH 89° 29' 18" WEST, A DISTANCE OF 1,020.08 FEET.

PROJECT BENCHMARK:

CITY OF AURORA BENCHMARK (556620W001) CHISELED SQUARE AT NORTHWEST CORNER OF A 21.5 FOOT WIDE INLET ON THE NORTH SIDE OF EAST QUINCY AVENUE, (0.25 MILE WEST OF HIGH TENSION POWER LINES), 125 FEET WEST OF HIMALAYA STREET AS PLATTED. NAVD88 ELEV = 5714.96'

NOTES:
1. LOT EASEMENTS SHALL BE AS SHOWN ON THIS DETAIL UNLESS OTHERWISE NOTED ON PLANS.

LEGAL DESCRIPTION:

ALL LOTS, STREETS AND TRACTS C, D, E, F, G, H, I, J, K, L, M, N, O, AND P AS SHOWN ON THE FINAL PLAT OF COPPERLEAF FILING NO. 27, RECORDED UNDER RECEPTION NO. _____ OF THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER'S OFFICE, SITUATED IN A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO

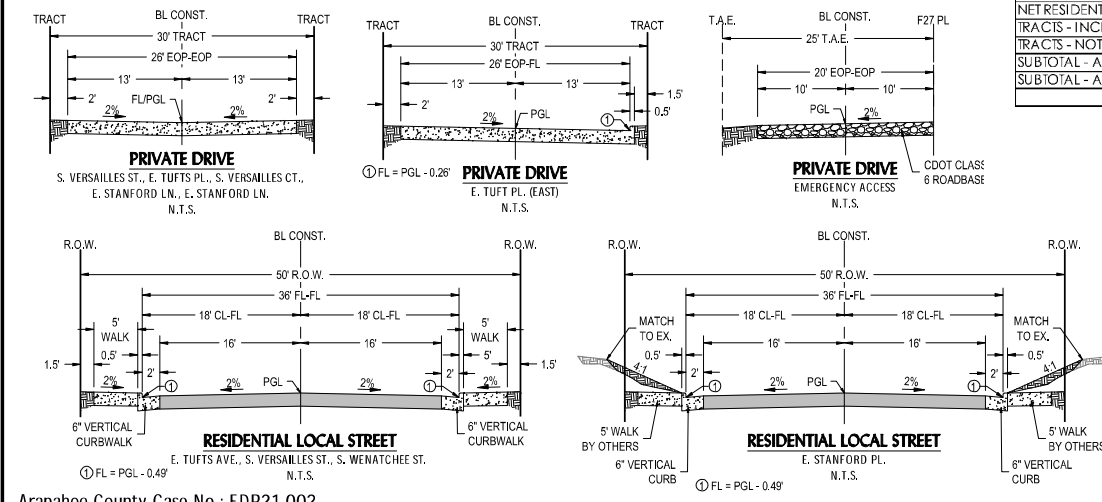
SITE REQUIREMENTS:

	MASTER COPPERLEAF PDP	FDP (PROPOSED)
LOT SIZE (MIN)(2)	N/A	2184
LOT COVERAGE (MAX)(1)	N/A	57%
LOT FRONTAGE (MIN)(4)(6)	N/A	28'
MINIMUM LOT FRONTAGE (CORNER)(4)	N/A	28'
MAXIMUM HEIGHT ALLOWED (10)	N/A	35'
MINIMUM SETBACKS		
-FRONT SETBACK TO LIVING SPACE	N/A	12'
-FRONT SETBACK TO COVERED PORCH	N/A	10'
-SIDE SETBACK (3)(9)	N/A	0'/5'
-SIDE SETBACK WITH EASEMENT (3)(5)	N/A	0'
-SIDE SETBACK CORNER (3)(9)	N/A <td 0'/5'	
-REAR SETBACK (ALLEY LOADED)(8)	N/A	4'/16'
BUILDING SEPARATION (3)	10'	10'
MAXIMUM DENSITY (DU/AC) (13)	30	10
PARKING REQUIREMENT RESIDENT	220	220
PARKING REQUIREMENT GUEST	78	28

* SUBJECT TO LAND DEVELOPMENT CODE REQUIREMENTS.

NOTES:

- LOT COVERAGE IS THAT PORTION OF THE GROUND ON ANY BUILDING SITE WHICH IS COVERED BY STRUCTURES HAVING A FLOOR, WALLS, AND FULLY ENCLOSED ROOF. LOT COVERAGE DOES NOT INCLUDE DRIVEWAYS, SIDEWALKS, PORCHES OR STOOPS, OPEN DECKS OR PATIO DECKS, TENNIS COURTS, FRONT AND SIDE PORCHES, UNDERGROUND OR PARTIALLY UNDERGROUND PARKING AREAS IF SUCH PARTIALLY UNDERGROUND PARKING AREAS DO NOT PROTRUDE MORE THAN SIX FEET (6') FROM THE AVERAGE SURROUNDING GRADE, ROADWAYS, BIKE PATHS, OR PEDESTRIAN WAYS, OR SUCH OTHER USES NOT MEETING THE DEFINITION ABOVE.
- MIN. LOT SIZE SHOWN FOR SINGLE FAMILY DETACHED, TOWNHOMES AND DUPLEXES ALLOWED AT SAME MIN. LOT SIZES WHEN ALLOWED WITHIN THE UNDERLYING RESIDENTIAL CATEGORY.
- ARCHITECTURAL ELEMENTS SUCH AS ROOF OVERHANGS, FIREPLACES, AND BAY OR BOX WINDOWS ARE PERMITTED A 24-INCH ENCROACHMENT INTO BUILDING SEPARATIONS. NO PORTION OF THE STRUCTURE ABOVE GROUND MAY ENCROACH INTO THE THREE-FOOT BUILDING TO PROPERTY LINE SETBACK WITHOUT MODIFICATION AND BUILDING DEPARTMENT REVIEW AND APPROVAL. OTHER SUB-SURFACE ARCHITECTURAL ELEMENTS INCLUDING STRUCTURAL ELEMENTS OF THE BUILDING FOUNDATION SUCH AS COUNTERFORTS MAY ENCROACH INTO BUILDING SEPARATIONS OR SETBACKS PROVIDED THAT SUCH ELEMENTS REMAIN ENTIRELY WITHIN THE LOT UPON WHICH THEY ORIGINATED. FOUNDATION WALLS ARE NOT PERMITTED WITHIN ANY SETBACKS. UN-ENCLOSED DECKS MAY ENCROACH INTO REAR SETBACKS BUT SHALL BE LOCATED NO CLOSER THAN 10' (TEN FEET) FROM THE REAR PROPERTY LINE BUT SHALL NOT ENCROACH INTO A UTILITY EASEMENT. DECKS SHALL NOT ENCROACH INTO SIDE SETBACKS.
- LOT FRONTAGE MEASURED AT SETBACK.
- A ZERO LOT LINE MAY BE UTILIZED WHEN A MAINTENANCE EASEMENT AND SIDE YARD EASEMENT ARE EXECUTED SUBJECT TO I.B.C. REQUIREMENTS.
- LOT FRONTAGE ON A CUL-DE-SAC MAY BE REDUCED BY FIVE FEET AT FRONT SETBACK.
- AN ACCESSORY USE SHALL NOT INCLUDE A LIVING SPACE ABOVE THE GARAGE WHICH HAS A SEPARATE INTERNAL OR EXTERNAL ENTRANCE. THIS LIVING SPACE AREA SHALL BE DEEMED PART OF THE PRIMARY STRUCTURE, SHALL FOLLOW THE PRIMARY USE HEIGHT RESTRICTIONS, AS WELL AS REQUIRE ONE ADDITIONAL OFF-STREET PARKING SPACE.
- SETBACKS ARE MEASURED FROM THE R.O.W., UNLESS OTHERWISE SPECIFIED. IN CASE OF PRIVATE DRIVES, SETBACKS ARE MEASURED FROM THE ROADWAY TRACT OR EASEMENT.
- IF ADJACENT TO A LANDSCAPE TRACT OF NO LESS THAN TEN FEET (10) THEN THE SETBACK MAY BE REDUCED TO FIVE FEET (5), OTHERWISE STANDARD LOT FRONTAGE AND SIDE SETBACKS WILL APPLY.
- THE HEIGHT OF A BUILDING SHALL BE MEASURED AS THE VERTICAL DISTANCE FROM THE TOP OF THE FINISHED FLOOR ELEVATION OF THE FIRST FLOOR, TO THE TOP OF THE ROOF RIDGELINE OR TOP OF PARAPET. THIS INCLUDES WALK-OUT, STEPPED, OR TERRACED BUILDINGS, CHIMNEYS, VENTILATORS, ELEVATOR HOUSINGS, SKYLIGHTS, SOLAR COLLECTORS, AIR CONDITIONING AND HEATING UNITS, ANTENNAS, AND NECESSARY MECHANICAL APPURTENANCES USUALLY CONSTRUCTED ABOVE ROOF LEVEL ARE NOT TO BE CONSIDERED IN DETERMINING BUILDING HEIGHT.
- ANY LAND USE OF A LOWER DENSITY MAY BE DEVELOPED WITHIN A HIGHER DENSITY PARCEL AS LONG AS IT FOLLOWS THE STANDARDS OF THE LOWER DENSITY LISTED IN THE CHARTS.
- 20% OPEN SPACE IS REQUIRED, UNLESS SFD RESIDENTIAL PRODUCT IS PROPOSED, THEN OPEN SPACE WILL BE ACCOMMODATED THROUGH H.O.A. CONTROLLED PARKS AND OPEN SPACE AS SHOWN. ALL PLD (PUBLIC LAND DEDICATION) FOR SFD-1, SFD-2, SFD-3, AND SFD-4 PARCELS ARE INTENDED TO BE MET BY THE PREVIOUS AND OR PROPOSED PLD AS DESCRIBED ON SHEET 11 OF QUINCY HIGHLANDS PDP AMENDMENT NO. 4, CASE Z04-004. ADDITIONAL PRIVATE, UNOBSTRUCTED OPEN SPACE SHALL BE PROVIDED FOR SFA-1 AND MF-1 ZONE CATEGORIES UNLESS SAID PARCELS ARE DEVELOPED AS SFD-1, SFD-2, SFD-3, OR SFD-4 USES.
- THE DENSITIES SHOWN FOR EACH PARCEL ON THE PDP INDICATE OVERALL GROSS DENSITY FOR THAT PARCEL. ANY PORTION OF THAT PARCEL MAY EXCEED THE OVERALL GROSS DENSITY INDICATED.
- STRUCTURES LOCATED ON THE SOUTH SIDE OF THE STREETS SHALL BE LOCATED IN SUCH A MANNER TO ALLOW NECESSARY SNOW AND ICE MELT TO OCCUR ALONG THE ADJACENT STREET AND SIDEWALK. ADDITIONAL FRONT SETBACK DISTANCES MAY BE NECESSARY, DEPENDING ON STRUCTURE HEIGHT.
- ALL PARKING REQUIREMENTS WILL FOLLOW ARAPAHOE COUNTY CODE SECTION 14-600, AS IN EFFECT ON MARCH 29, 2004.
- OPEN SPACE (UNOBSTRUCTED) SHALL BE 10% OF GROSS PARCEL ACREAGE. THIS PERCENTAGE IS OVER AND ABOVE IN SO-15-17 PARCELS THAT ARE OPEN SPACE BUFFERS TO E-470.



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Barnack Street
Denver, Colorado 80204
P 303.862.1166
F 303.862.1166
www.norris-design.com

I:\08 FOLDERS\2002 - RICHMOND HOMES\2002-100\PROJ\FDP COVER NOTES PRINTED ON: 11/29/2021 1:44 PM

Arapahoe County Case No.: FDP21-002

Copperleaf Filing No. 27

Arapahoe County, Colorado

Final Development Plan

Cover Sheet

Job No.: 1002-100

Approved By: XWL

Sheet: 1 of 18

Client: Richmond American Homes of Colorado, Inc.

Address: 4350 South Monaco Street
Denver, CO 80237

Contact: Eric Kubby
720-977-3862

Sheet: 1

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF

COLORADO NOTES SHEET

SHEET 2 OF 18

STANDARD NOTES:

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDER(S) OF THE FINAL DEVELOPMENT PLAN KNOWN AS PART OF COPPERLEAF FILING NO. 27 THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

STREET MAINTENANCE:

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAN WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE MAINTENANCE:

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

EMERGENCY ACCESS NOTE:

EMERGENCY ACCESS IS GRANTED HERewith OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE:

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS, AND EASEMENTS, I.E., CROSS ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

PRIVATE STREET MAINTENANCE:

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAT/PLAN ARE NOT IN CONFORMANCE WITH ARAPAHOE COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION. THE OWNERS, DEVELOPERS, HOMEOWNER ASSOCIATION, DISTRICT, AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTL SUCH TIME AS THE COUNTY ACCEPTS RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE LIABILITY:

IT IS THE POLICY OF ARAPAHOE COUNTY THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY INNOVATIVE LAND CONSULTANTS. ARAPAHOE COUNTY REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 30, ARTICLE 28, BUT CANNOT, ON BEHALF OF QW DEVELOPERS, INC., A COLORADO CORPORATION GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE QW DEVELOPERS, INC., A COLORADO CORPORATION AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF ARAPAHOE COUNTY THAT APPROVAL OF THE FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF INNOVATIVE LAND CONSULTANTS' PHASE III DRAINAGE DESIGN.

LANDSCAPE MAINTENANCE:

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION, DISTRICT, OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING AND LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS.

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS AND /OR ASSIGNS IN INTEREST, HOMEOWNERS ASSOCIATION, DISTRICT, OR SOME OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

SIGHT TRIANGLE MAINTENANCE:

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIENTLE.

PUBLIC IMPROVEMENTS NOTE:

AFTER FINAL DEVELOPMENT PLAN APPROVAL, ISSUANCE OF INDIVIDUAL BUILDING PERMITS WILL BE SUBJECT TO THE FOLLOWING STIPULATIONS AND/OR CONDITIONS PRECEDENT WHICH OWNER AGREES TO IN CONJUNCTION WITH APPROVAL OF THE FINAL DEVELOPMENT PLAN AND/OR FINAL PLAT. SUCH BUILDING PERMITS WILL BE ISSUED ONLY AFTER THE OWNERS GUARANTEE PUBLIC IMPROVEMENTS IN A FORM ACCEPTABLE TO THE BOARD OF COUNTY COMMISSIONERS PURSUANT TO STATE STATUTE.

DRAINAGE MASTER PLAN NOTE:

THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:

- DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE II DRAINAGE REPORT AND PLAN.
- DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGE WAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
- EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGE WAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGE WAY PLANS (SECTION 3.4 OF THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL) OR AS REQUIRED BY THE COUNTY AND DESIGNATED IN THE PHASE II DRAINAGE REPORT.

MAINTENANCE EASEMENT:

A MAINTENANCE EASEMENT IS REQUIRED FOR DEVELOPMENTS WITH ZERO SIDE SETBACKS IF ONE STRUCTURE IS BUILT ON THE LOT LINE. IN ORDER TO MAINTAIN STRUCTURE WITH THE ZERO SIDE SETBACK, A MAINTENANCE EASEMENT MAY BE REQUIRED ON THE ADJACENT LOT TO ENABLE MAINTENANCE TO BE PERFORMED ON SAID STRUCTURE FROM THE ADJOINING PROPERTY. EACH LOT OWNER AGREES TO ALLOW ADJACENT LOT OWNERS ACCESS ACROSS THEIR LOT, WITHIN FIVE FEET OF THE COMMON LOT LINE, AS MAY BE NEEDED TO MAINTAIN AND REPAIR THE ADJACENT OWNERS PRINCIPAL STRUCTURE. EACH ADJACENT OWNER AGREES TO REPAIR ANY DAMAGE WHICH MAY BE CAUSED TO THE LOT OWNERS PROPERTY FROM THE ADJACENT OWNERS USE OF THIS MAINTENANCE EASEMENT, AND TO TAKE ALL NECESSARY STEPS TO AVOID CAUSING SUCH DAMAGE.

SPECIFIC NOTES:

STREET LIGHTING:

ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING ON THIS PLAN, TOGETHER WITH RATES, RULES, AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNER OR OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY AS BILLED A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE PLAN ACCORDING TO APPLICABLE RATES, RULES, AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO.

AIRPORT INFLUENCE AREA NOTE (OFFSITE IMPROVEMENTS):

TO CARRY OUT ONE OR MORE OF THE FOLLOWING AS MAY BE REQUIRED BY THE BOARD OF COUNTY COMMISSIONERS:

- TO INCLUDE SAID DEVELOPMENT WITHIN A SPECIAL DISTRICT FOR THE PURPOSE OF PARTICIPATION IN THE CONSTRUCTION OF NECESSARY OFFSITE IMPROVEMENTS AT THE TIME OF APPROVAL OF FINAL DEVELOPMENT PLANS.
- TO COOPERATE WITH OTHER OWNERS OF OTHER PARCELS AND/OR OTHER SPECIAL DISTRICTS IN OFFSITE ROADWAY IMPROVEMENTS AS NECESSITATED BY THE DEVELOPMENT IMPACTS AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- TO COMPLETE SUCH OTHER IMPROVEMENTS TO PUBLIC ROADWAYS BROUGHT ABOUT OR IMPACTED BY THIS DEVELOPMENT AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- TO PARTICIPATE AND COOPERATE IN ANY TRANSPORTATION MANAGEMENT PROGRAM AS SPECIFIED IN THE AIRPORT INFLUENCE AREA TRANSPORTATION STUDY, IF SUCH A PROGRAM IS APPROVED AND/OR ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS.

AIRPORT INFLUENCE AREA NOTE (EASEMENT/HAZARD EASEMENT):

AN AIR RIGHTS COVENANT AND AVIATION AGREEMENT AFFECTING ALL PROPERTY CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN HAS BEEN LEGALLY EXECUTED. SAID EASEMENT DOCUMENTS CAN BE FOUND AT RECEPTION NUMBERS B4182079 AND B7017715 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER.

THE LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN LIE WITHIN THE AIRPORT INFLUENCE AREA, AND AREA WHICH IS LIKELY TO BE AFFECTED BY AIRCRAFT OPERATIONS AND THEIR POTENTIAL NOISE AND/OR CRASH HAZARDS TO A GREATER DEGREE THAN LANDS SITUATED OUTSIDE OF THE INFLUENCE AREA.

ALL LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN SHALL COMPLY WITH F.A.R. PART 77. "HEIGHT AND OBSTRUCTIONS CRITERIA".

REGIONAL TRANSPORTATION IMPROVEMENT FEE (RTIF) AREA:

THIS DEVELOPMENT IS LOCATED WITHIN AN AREA THAT HAS BEEN IDENTIFIED AS DEFICIENT IN REGIONAL INFRASTRUCTURE IMPROVEMENTS, PRIMARILY REGIONAL TRANSPORTATION INFRASTRUCTURE. THE BOARD OF COUNTY COMMISSIONERS HAS ADOPTED RESOLUTION 375-95A, WHICH REQUIRES FEES, PURSUANT TO THE FEE SCHEDULE ADOPTED BY THIS RESOLUTION, TO BE CHARGED BY THE BUILDING DIVISION, AND COLLECTED UPON THE ISSUANCE OF THE BUILDING PERMITS FROM NEW CONSTRUCTION WITHIN THE REGION BOUNDARIES. THE FEES, THE REGION BOUNDARIES, THE REGIONAL TRANSPORTATION INFRASTRUCTURE PROPOSED TO BE FUNDED BY THE FEES, AND OTHER PERTINENT PORTIONS OF THE FEE SCHEDULE MAY BE FURTHER STUDIED AND AMENDED FROM TIME TO TIME, AS NEEDED TO ENSURE A FAIR BALANCED SYSTEM.

PRIVATE OPEN SPACE:

- THE PRIVATE PARK SITE AS SHOWN ON THIS PLAT OR PLAN SHALL BE MAINTAINED IN PERPETUITY BY THE OWNER(S), HOMEOWNER'S ASSOCIATION, DISTRICT, AND/OR ENTITY OTHER THAN ARAPAHOE COUNTY.
- BUILDING PERMITS WILL BE ISSUED FOR ONLY ONE-HALF OF THE LOTS IN THIS SUBDIVISION UNTIL THE PARK FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLAN.
- WHEN A PROJECT CONSISTS OF ONE LOT, THE PRIVATE PARK SHALL BE INSTALLED PRIOR TO THE CERTIFICATE OF OCCUPANCY.

STORMWATER MAINTENANCE:

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT BEST MANAGEMENT PRACTICES (BMP'S) AND STORMWATER FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS AND THE OPERATIONS AND MAINTENANCE (O AND M) GUIDE IN THE CASE OF PERMANENT BMP'S. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED BMP'S CONTAINED IN THE O AND M MANUAL RECORDED AT RECEPTION NUMBER N/A, AND THE STORMWATER FACILITIES SHOWN IN THE APPROVED PHASE III DRAINAGE REPORT AND SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS.

THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL PERMANENT BMP'S AND/OR STORMWATER FACILITIES ASSOCIATED WITH THIS DEVELOPMENT. IF THE PERMANENT BMP'S AND STORMWATER FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

GENERAL NOTES:

LANDSCAPING AND FENCING:

THE OWNERS OF THE FINAL DEVELOPMENT PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE HOMEOWNER'S ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF LANDSCAPING, PROJECT SIGNAGE AND FENCING AS INDICATED BELOW.

LANDSCAPING WITHIN COUNTY RIGHT-OF-WAY WILL REQUIRE SEPARATE PLAN SUBMITTAL AND AGREEMENTS WITH THE COUNTY. PROBATIONARY ACCEPTANCE WILL BE HELD UNTIL THESE PLANS ARE APPROVED. LANDSCAPING IMPROVEMENTS FOR THIS DEVELOPMENT WILL BE ON TWO LEVELS: (1) COMMUNITY-WIDE LANDSCAPING, AND (2) INDIVIDUAL LOT LANDSCAPING.

E-470 INFLUENCE AREA NOTE-EASEMENT/HAZARD EASEMENT:

RESIDENTIAL LOTS SHALL BE PERMITTED OUTSIDE OF THE 65 dBA LEQ NOISE CONTOUR OF E-470 BASED ON 2000 VEHICLES PER HOUR PER LANE TRAVELING AT 70 MPH (PEAK HOUR, LEQ dBA).

LOTS WITHIN THE 65 dBA LEQ NOISE CONTOUR SHALL BE ALLOWED PROVIDED THAT APPROPRIATE MITIGATION MEASURES CAN INCLUDE A NOISE BARRIER FENCE (NOT TO EXCEED EIGHT FEET TALL), EARTH BERMING, HORIZONTAL SEPARATION OR A COMBINATION OF THESE TECHNIQUES.

1. **E-470 FENCE**, ACCORDING TO THE PDP, THE 65 dBA LEQ NOISE CONTOUR IS LOCATED OUTSIDE THE LIMITS OF ALL LOTS WITHIN COPPERLEAF FILING NO. 11. A 8-FT WOOD FENCE WILL BE INSTALLED ADJACENT TO E-470. THIS FENCE WILL BE MAINTAINED BY THE COPPERLEAF MASTER HOMEOWNERS ASSOCIATION.

COMMUNITY-WIDE LANDSCAPING WILL INCLUDE:

- PERIMETER LANDSCAPING**, THE COLLECTOR STREET SECTIONS WILL BE LANDSCAPED, WITH A COMBINATION OF TURF TYPES, AND PLANTED WITH A VARIETY OF TREES. A FENCE WILL BE CONSTRUCTED WITHIN THE LANDSCAPE AREAS WITH ATTRACTIVE ENTRYWAY FEATURES LOCATED AT THE SUBDIVISION ENTRANCES. PERIMETER LANDSCAPING ALONG THESE COLLECTOR SECTIONS WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION PER TRACT SUMMARY TABLE SHOWN ON THE COVER SHEET.
- ENTRY LANDSCAPING**, THE RIGHT-OF-WAY LOCATED ALONG EAST RADCLIFF PARKWAY WILL BE DEVELOPED WITH FENCING, PROJECT SIGNAGE, AND PLANTINGS THAT WILL ENHANCE THE ENTRANCE INTO THIS PROPERTY. ALL ENTRY LANDSCAPING AND PROJECT SIGNAGE, INCLUDING MEDIANS, WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- COMMON AREA LANDSCAPING**, THE OPEN SPACE/PARK WILL BE DEVELOPED WITH TURF AREAS. TRAILS ARE TO BE PROVIDED AS SHOWN WITHIN THIS FINAL DEVELOPMENT PLAN. TREES ARE INCLUDED FOR SHADE AND TEXTURE. THE PERIMETER OF THESE AREAS, ADJACENT TO LOTS, MAY BE FENCED WITH AN OPEN RAIL TYPE OF FENCING TO MAXIMIZE VIEWS FROM THE HOMES. LANDSCAPING WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT OR ARAPAHOE COUNTY PARKS AND RECREATION DISTRICT.

INDIVIDUAL LOT LANDSCAPING:

EACH LOT WILL BE LANDSCAPED BY THE BUILDER FROM THE SIDE YARD WING FENCE TO THE STREET SIDEWALK WITH A MINIMUM OF TWO TREES, FIVE SHRUBS, UNDERGROUND AUTOMATIC IRRIGATION SYSTEM, AND SOD. INDIVIDUAL LOT LANDSCAPING WILL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS. ALL SHADE TREES SHALL BE A MINIMUM 2-INCH CALIPER AND ALL ORNAMENTAL TREES A MINIMUM 1 1/2 INCH CALIPER. EVERGREEN TREES WILL BE A MINIMUM SIX FEET HIGH. WING FENCES (THOSE BETWEEN HOUSES) WILL BE SET BACK A MINIMUM OF EIGHT FEET FROM THE FRONT HOUSE CORNER OR FARTHER BACK AS NECESSARY TO ALLOW FOR SIDE YARD LANDSCAPING. WING FENCES SHALL BE BUILT BY THE HOME BUILDER. ALL SOLID FENCING WILL BE A MINIMUM OF FIVE FEET HIGH EXCEPT FOR FENCES ADJACENT TO TRACTS OR OPEN SPACE. ALL LOTS SHALL BE LANDSCAPED IN ACCORDANCE WITH THE RESIDENTIAL IMPROVEMENT DESIGN GUIDELINES OF THE HOMEOWNERS ASSOCIATION, HOWEVER THIS FINAL DEVELOPMENT PLAN SHALL CONTROL IN THE EVENT OF A CONFLICT BETWEEN THIS FINAL DEVELOPMENT PLAN AND THE RESIDENTIAL IMPROVEMENT DESIGN GUIDELINES.

ARCHITECTURE:

THIS SINGLE FAMILY RESIDENTIAL SITE SHALL BE COMPRISED OF PRIMARILY WOOD AND WOOD COMPOSITE HOUSING CONSTRUCTION. BRICK OR STONE VENEERS MAY BE EMPLOYED TO PROVIDE BREAKS IN THE VISUAL MASSING. FINISH COLORS SHALL BE PRIMARILY EARTH TONES. ROOFING SHALL BE COMPOSITE SHINGLE, WOOD/CONCRETE/MASONITE SHINGLE OR SIMILAR. ALL STRUCTURES SHALL BE COMPATIBLE WITH EXISTING ADJACENT CONSTRUCTION. ENFORCEMENT OF THIS RESTRICTION SHALL BE THE RESPONSIBILITY OF AN ENTITY OTHER THAN ARAPAHOE COUNTY. IN NO INSTANCE SHALL LIKE MODELS/PLAN NUMBERS BE CONSTRUCTED IMMEDIATELY ADJACENT TO ONE ANOTHER EXCEPT FOR LOTS CONTINUOUS ALONG REAR LOT LINES. ADDITIONALLY THE BUILDER SHALL VARY EXTERIOR ELEVATIONS AND COLOR SCHEMES SO THAT NO TWO ADJACENT LOTS SHALL BE CONSTRUCTED WITH THE SAME ELEVATION OR SAME COLOR SCHEME.

SIGNAGE CRITERIA:

NO SIGNAGE OTHER THAN THAT REQUIRED FOR SITE ADDRESSING, GENERAL IDENTIFICATION, AND DEVELOPMENT IDENTIFICATION SHALL BE ALLOWED ON SITE, EXCEPT FOR SIGNAGE REQUIRED FOR SALES AND MARKETING PURPOSES. **ALL SIGNAGE INSTALLED SHALL MEET AND BE GOVERNED BY CURRENT ARAPAHOE COUNTY SIGN CODES AND/OR APPROVED PDP.** FOR TRAFFIC SIGNAGE AND STRIPING SEE THE CONSTRUCTION PLANS.

LIGHTING CRITERIA:

NO PRIVATE LIGHTING SHALL BE ERECTED HIGHER THAN 10 FEET FROM GROUND LEVEL, UNLESS SPECIFICALLY APPROVED BY THE HOMEOWNERS ASSOCIATION. LIGHTING SHALL BE DOWN-DIRECTED AND SHALL NOT CAST A GLARE ON ADJACENT PROPERTIES. STREET LIGHTING AND SEASONAL HOLIDAY LIGHTING SHALL NOT BE GOVERNED BY THIS RESTRICTION. ENFORCEMENT OF THIS RESTRICTION SHALL BE THE RESPONSIBILITY OF AN ENTITY OTHER THAN ARAPAHOE COUNTY.

SNOW SHADOW NOTE:

STRUCTURES LOCATED ON THE SOUTH SIDE OF THE STREETS SHALL BE LOCATED IN SUCH A MANNER TO ALLOW NECESSARY SNOW AND ICE MELT TO OCCUR ALONG THE ADJACENT STREET AND SIDEWALK. ADDITIONAL FRONT SETBACK DISTANCES MAY BE NECESSARY, DEPENDING ON STRUCTURE HEIGHT.

LANDSCAPE BUFFERS:

STREET LANDSCAPE BUFFER(S) AS INDICATED ON THE TRACT DESIGNATION TABLE ARE FOR THE INSTALLATION AND MAINTENANCE OF LANDSCAPE MATERIALS, FENCING, MONUMENTS AND PUBLIC PEDESTRIAN WALKS/TRAILS. UNDERGROUND UTILITIES INCLUDING GAS, ELECTRIC, TELEPHONE AND CABLE ARE PERMITTED USES PROVIDED SUCH UTILITIES ARE INSTALLED IN COORDINATION WITH OTHER USES. THE INSTALLATION AND PLACEMENT OF SURFACE EQUIPMENT ASSOCIATED WITH CABLE, TELEPHONE, GAS AND ELECTRIC UTILITIES IS SPECIFICALLY PROHIBITED WITHOUT PRIOR COORDINATION AND APPROVAL FROM THE DEVELOPER AND/OR PROPERTY OWNER.

FIRE DISTRICT:

- SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS AND DRIVES.
- ALL ROADS AND DRIVES ARE HEREBY DESIGNATED AS FIRE LANES. WHEN REQUIRED BY THE FIRE DISTRICT, ALL FIRE LANES SHALL BE POSTED "NO PARKING-FIRE LANE." ALL FIRE LANES SHALL BE INCLUDED IN THE ARAPAHOE COUNTY PROGRAM FOR ENFORCEMENT OF PRIVATE PROPERTY PARKING.
- COMPLETE SPECIFICATIONS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE FIRE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION OCCURRING.
- ALL FIRE HYDRANTS ARE TO BE INSTALLED IN CONFORMANCE WITH SECTIONS 508.5.4 AND 508.5.5 OF THE 2003 INTERNATIONAL FIRE CODE. NO LANDSCAPING, FENCING OR ANY OTHER OBSTRUCTION SHALL BE PLACED WITHIN THREE FEET OF A FIRE HYDRANT.
- THE FIRE DISTRICT REQUIRES ALL NEW BUILDINGS OR DEVELOPMENTS ADD OPTICOM TRAFFIC SIGNALING EQUIPMENT TO ANY NEW TRAFFIC SIGNALS. THE DEVELOPER SHALL SUBMIT TRAFFIC SIGNAL PLANS TO THE FIRE DISTRICT FOR APPROVAL PRIOR TO INSTALLATION.
- THE FIRE DISTRICT REQUIRES ALL NEW ROOFING SYSTEMS BE EITHER NON-COMBUSTIBLE OR PART OF AN APPROVED FIRE RATED ROOFING SYSTEM. THE DEVELOPER SHALL SUBMIT APPROPRIATE PLANS AND SPECIFICATIONS TO THE FIRE DISTRICT WITH THE BUILDING PLANS.

FLOODPLAIN:

COPPERLEAF FILING NO. 27 IS LOCATED IN ZONE X AS SHOWN ON FEMA FIRM MAP 0800500213M, DATED SEPTEMBER 4, 2020.



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Barnook Street
Denver, Colorado 80204
P 303.882.1188
F 303.882.1188
www.norris-design.com

Copperleaf Filing No. 27

Arapahoe County, Colorado

Final Development Plan

Notes Sheet

Proj. Name:	Date:	November 8, 2021
Location:	Job No.:	1002-100
Plan Sec.:	Approved By:	XWL
Sheet Name:	Designed By:	YSP
	Horiz. Scale:	N/A
	Sheet:	2 of 18
Client:	Richmond American Homes of Colorado, Inc.	
Address:	4350 South Monaco Street Denver, CO 80237	
Contact:	Eric Kubly 720-977-3862	
Sheet:	2	

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

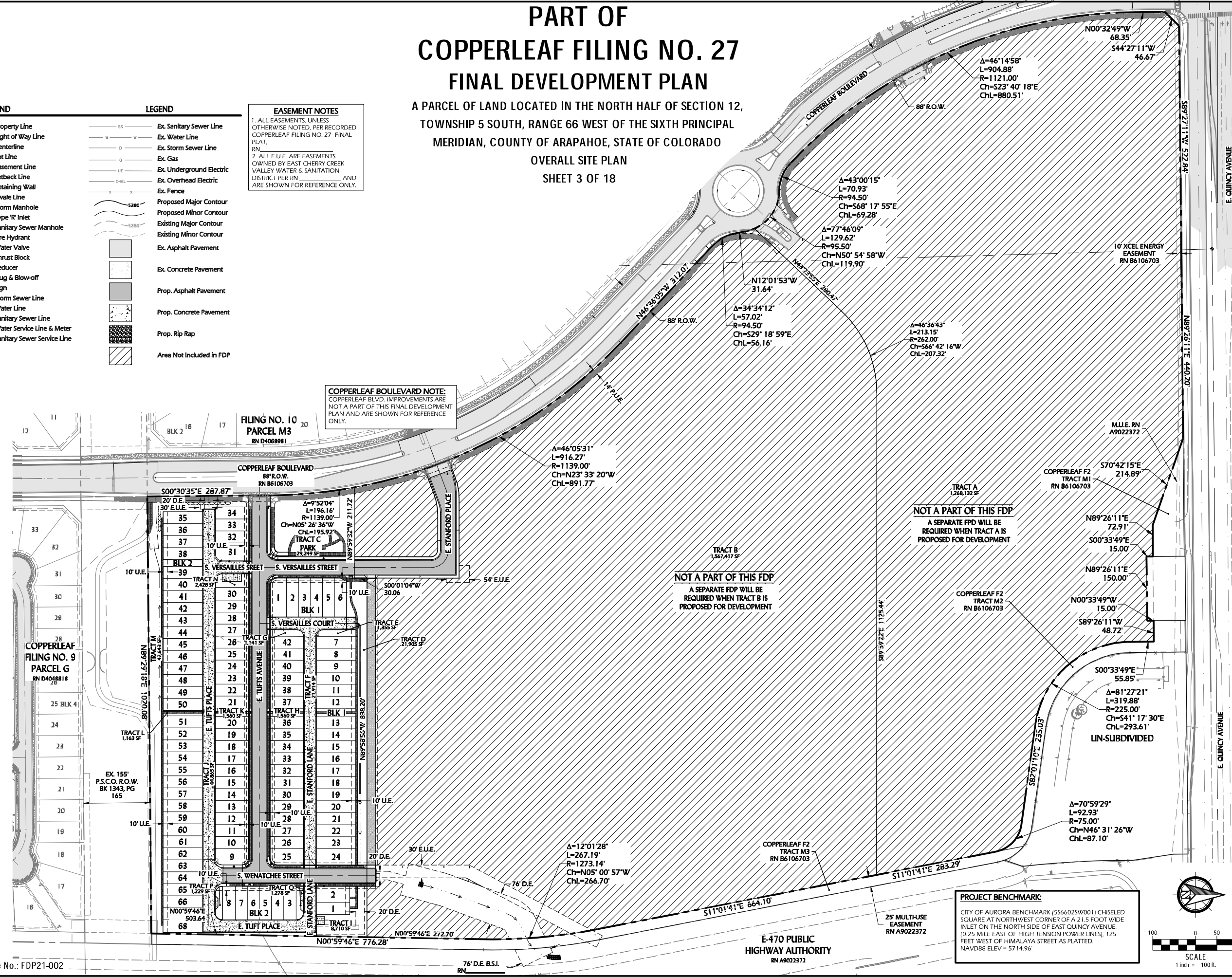
A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12,
TOWNSHIP 5 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO

OVERALL SITE PLAN
SHEET 3 OF 18

LEGEND		LEGEND	
	Property Line		Ex. Sanitary Sewer Line
	Right of Way Line		Ex. Water Line
	Centerline		Ex. Storm Sewer Line
	Lot Line		Ex. Gas
	Easement Line		Ex. Underground Electric
	Setback Line		Ex. Overhead Electric
	Retaining Wall		Ex. Fence
	Swale Line		Proposed Major Contour
	Storm Manhole		Proposed Minor Contour
	Type 'R' Inlet		Existing Major Contour
	Sanitary Sewer Manhole		Existing Minor Contour
	Fire Hydrant		Ex. Asphalt Pavement
	Water Valve		Ex. Concrete Pavement
	Thrust Block		Prop. Asphalt Pavement
	Reducer		Prop. Concrete Pavement
	Plug & Blow-off		Prop. Rip Rap
	Sign		Area Not Included in FDP
	Storm Sewer Line		
	Water Line		
	Sanitary Sewer Line		
	Water Service Line & Meter		
	Sanitary Sewer Service Line		

EASEMENT NOTES
1. ALL EASEMENTS, UNLESS OTHERWISE NOTED, PER RECORDED COPPERLEAF FILING NO. 27 FINAL PLAT, RN.
2. ALL E.U.E. ARE EASEMENTS OWNED BY EAST CHERRY CREEK VALLEY WATER & SANITATION DISTRICT PER RN. AND ARE SHOWN FOR REFERENCE ONLY.

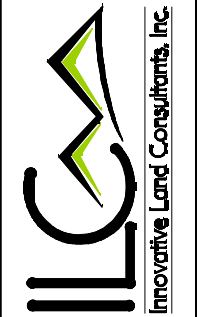
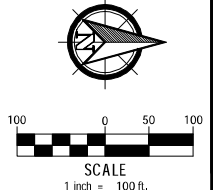
COPPERLEAF BOULEVARD NOTE:
COPPERLEAF BLVD. IMPROVEMENTS ARE NOT A PART OF THIS FINAL DEVELOPMENT PLAN AND ARE SHOWN FOR REFERENCE ONLY.



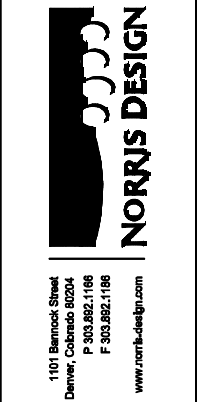
NOT A PART OF THIS FDP
A SEPARATE FDP WILL BE REQUIRED WHEN TRACT A IS PROPOSED FOR DEVELOPMENT

NOT A PART OF THIS FDP
A SEPARATE FDP WILL BE REQUIRED WHEN TRACT B IS PROPOSED FOR DEVELOPMENT

PROJECT BENCHMARK:
CITY OF AURORA BENCHMARK [566602SW001] CHISELED SQUARE AT NORTHWEST CORNER OF A 21.5 FOOT WIDE INLET ON THE NORTH SIDE OF EAST QUINCY AVENUE. (0.25 MILE EAST OF HIGH TENSION POWER LINES), 125 FEET WEST OF HIMALAYA STREET AS PLATTED. NAVD88 ELEV = 5714.96'



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Barnack Street
Denver, Colorado 80204
P 303.882.1166
F 303.882.1168
www.norris-design.com

Copperleaf Filing No. 27
Arapahoe County, Colorado
Final Development Plan
Overall Site Plan

Proj. Name:	Copperleaf Filing No. 27
Date:	November 8, 2021
Job No.:	1002-100
Approved By:	XWL
Designed By:	YSP
Horiz. Scale:	1" = 100'
Sheet:	3 of 18
Client:	Richmond American Homes of Colorado, Inc.
Address:	4350 South Monaco Street Denver, CO 80237
Contact:	Eric Kubly 720-977-3862
Sheet:	3

I:\06 FOLDERS\1002 - RICHMOND HOMES\1002-100\FDP\OVERALL SITE PLAN PRINTED ON: 11/29/2021 1:45 PM

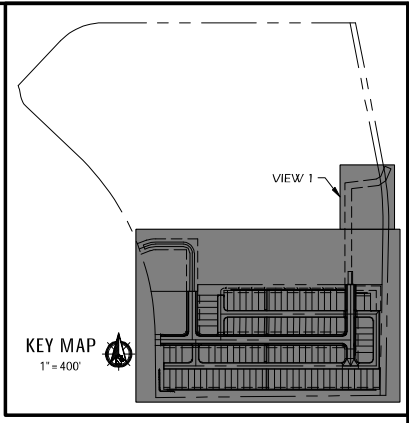
Arapahoe County Case No.: FDP21-002

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

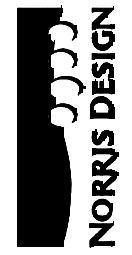
A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF

COLORADO
SITE, UTILITY & GRADING PLAN
SHEET 4 OF 18

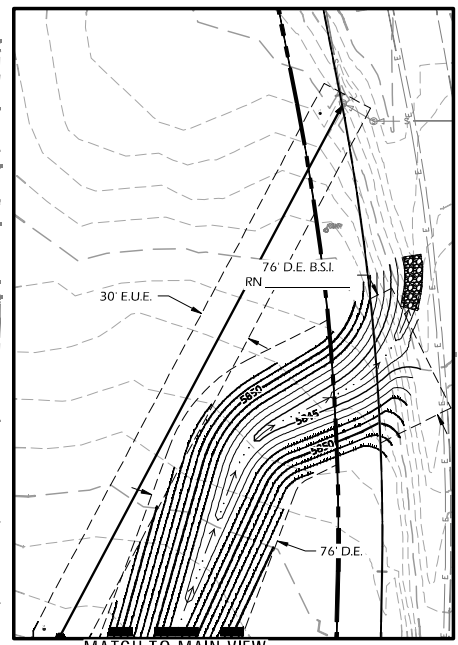
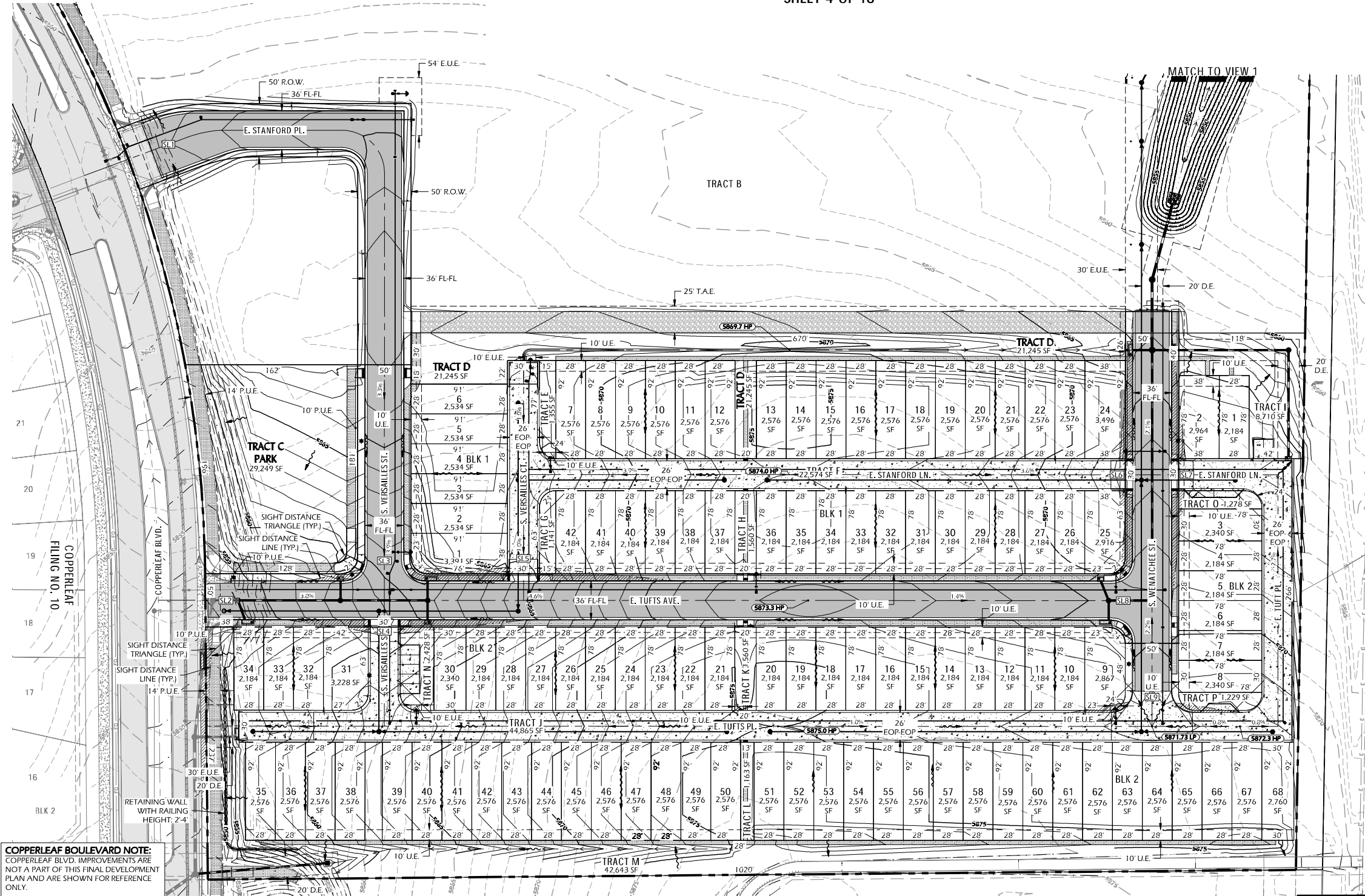
EASEMENT NOTES
1. ALL EASEMENTS, UNLESS OTHERWISE NOTED, PER RECORDED COPPERLEAF FILING NO. 27 FINAL PLAT.
RN: _____
2. ALL E.U.E. ARE EASEMENTS OWNED BY EAST CHERRY CREEK VALLEY WATER & SANITATION DISTRICT PER RN _____ AND ARE SHOWN FOR REFERENCE ONLY.



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Barnack Street
Denver, Colorado 80204
P 303.882.1188
F 303.882.1188
www.norris-design.com

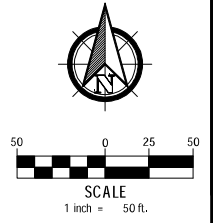


SIGHT LINE NUMBER	*RIGHT TURN	*LEFT TURN	DESIGN SPEED (MPH)
SL1	385'	530'	35
SL2	385'	530'	35
SL3	290'	335'	30
SL4	290'	335'	30
SL5	290'	335'	30
SL6	290'	335'	30
SL7	290'	335'	30
SL8	290'	335'	30
SL9	145'	170'	15

SL1 SIGHT LINE SYMBOL
SIGHT DISTANCE AREA
* RIGHT AND LEFT TURN LENGTHS ARE BASED ON AASHTO BOOK TABLES 9.6 AND 9.8.

COPPERLEAF BOULEVARD NOTE:
COPPERLEAF BLVD. IMPROVEMENTS ARE NOT A PART OF THIS FINAL DEVELOPMENT PLAN AND ARE SHOWN FOR REFERENCE ONLY.

PROJECT BENCHMARK:
CITY OF AURORA BENCHMARK [5666025W001] CHISELED SQUARE AT NORTH-WEST CORNER OF A 21.5 FOOT WIDE INLET ON THE NORTH SIDE OF EAST QUINCY AVENUE. (0.25 MILE EAST OF HIGH TENSION POWER LINES), 125 FEET WEST OF HIMALAYA STREET AS PLATTED.
NAVD88 ELEV = 5714.96'



Copperleaf Filing No. 27
Arapahoe County, Colorado
Final Development Plan
Site, Utility & Grading Plan

Proj. Name: _____
Location: _____
Plan Set: _____
Sheet Name: _____
Date: November 8, 2021
Job No.: 1002-100
Approved By: XWL
Designed By: VSP
Horiz. Scale: 1" = 50'
Sheet: 4 of 18
Client: Richmond American Homes of Colorado, Inc.
Address: 4350 South Monaco Street, Denver, CO 80237
Contact: Eric Kubby, 720-977-3862
Sheet: 4

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE
OF COLORADO
SHEET 5 OF 18

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES.
3. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
4. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
5. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
6. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
7. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
9. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
10. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT 3.5 cu.yrds/1,000sf OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
11. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
12. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
13. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
14. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
15. RETAINING WALLS THAT ARE NECESSARY WITHIN THE COPPERLEAF FILING NO. 18 DEVELOPMENT MAY REQUIRE AN ASP AMENDMENT. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
16. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
17. SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" x 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
18. IN ALL CASES SHRUB, GROUNDCOVER AND PERENNIAL BEDS ADJACENT TO BUILDING AND WALL FOUNDATIONS SHALL BE CONTAINED BY 4" x 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE PERFORATED EDGER, RYERSON OR EQUAL. EDGER SHALL NOT RESTRICT THE FREE FLOW OF DRAINAGE OR DAM WATER IN ANY CASE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
19. ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, 1.5" RIVER ROCK LANDSCAPE MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. .75" RIVER ROCK TO BE USED IN ALL ORNAMENTAL GRASS BANDS. FEATHER ROCK AWAY FROM PLANT SO ROCK DOES NOT COVER GRASSES. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 2" DEPTH SHREDDED CEDAR LANDSCAPE MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS.
20. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
21. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
22. SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES UNLESS OTHERWISE NOTED ON THE PLANS.
23. ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
24. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
25. SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 4" x 14 GAUGE GREEN ROLL TOP EDGER, RYERSON OR EQUAL.
26. ALL LANDSCAPE IMPROVEMENTS AND RELATED APPURTENANCES PLACED OR RELOCATED WITHIN ARAPAHOE COUNTY RIGHTS-OF-WAY MUST BE REVIEWED AND APPROVED BY THE ARAPAHOE COUNTY DIVISION OF ENGINEERING SERVICES. PROBATIONARY ACCEPTANCE WILL BE HELD UNTIL THESE DRAWINGS ARE APPROVED.
27. A 5-FOOT MINIMUM OFFSET FROM THE OUTSIDE EDGE OF TREE ROOT TO THE OUTSIDE OF ANY REINFORCED CONCRETE PIPE (RCP) MUST BE MAINTAINED.



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1166
www.norris-design.com

Copperleaf Filing No. 27
Arapahoe County, Colorado
Final Development Plan
LANDSCAPE NOTES

Proj. Name:	Location:	Plan Set:	Sheet Name:
Date:	11-05-2021		
Job No.:			
Approved By:			
Designed By:			
Horiz. Scale:			
Sheet:			
Client:	Richmond American Homes of Colorado, Inc.		
Address:	4350 South Monaco Street Denver, CO 80237		
Contact:	Eric Kubly 720-977-3862		
Sheet:	5		

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE
OF COLORADO
SHEET 6 OF 18

LANDSCAPE PLANT LIST

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS CANOPY TREES				
6	DNM	DEBORAH NORWAY MAPLE	ACER PLATANOIDES 'DEBORAH'	2" CAL
6	GSL	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2" CAL
6	HOA	HERITAGE OAK	QUERCUS MACDANIELII 'CLEMONS'	2" CAL
8	ALM	ALLEE LACEBARK ELM	ULMUS PARVIFOLIA 'ALLEE'	2" CAL
4	SKY	SKYLINE HONEY LOCUST	GLEDTISIA TRICANTHOS 'SKYLINE'	2" CAL
EVERGREEN TREES				
17	AUS	AUSTRIAN PINE	PINUS NIGRA	8' HT. - FULLY BRANCHED TO GROUND
9	PON	PONDEROSA PINE	PINUS PONDEROSA	8' HT. - FULLY BRANCHED TO GROUND
11	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS	8' HT. - FULLY BRANCHED TO GROUND
11	PIN	SOUTHWESTERN WHITE PINE	PINUS STROBIFORMIS	8' HT. - FULLY BRANCHED TO GROUND
DECIDUOUS ORNAMENTAL TREES				
54	AMC	AMUR CHOKECHERRY	PRUNUS MAACKII	6' HT. MIN CLUMP
32	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI 'INERMIS'	1.5' CAL
41	SPR	SPRING SNOW CRAB (WHITE)	MALUS X 'SPRING SNOW'	1.5' CAL
3	CRI	CRIMSON SPIRE OAK	QUERCUS ALBA X Q. ROBUR 'CRIMSCHMIDT'	1.5' CAL
DECIDUOUS SHRUBS- 2'-5' SPREAD				
27	MOR	MORMON TEA	EPHEDRA VIRIDIS	#5 CONT.
149	RSA	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	#5 CONT.
38	DMS	DWARF MOCKORANGE	PHILADELPHUS X VIRGINALIS 'DW. MINN. SNOWFLAKE'	#5 CONT.
393	MCK	MCKAY'S WHITE POTENTILLA	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	#5 CONT.
150	TAP	TANGERINE POTENTILLA	POTENTILLA FRUTICOSA 'TANGERINE'	#5 CONT.
131	HCO	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTI 'HANCOCK'	#5 CONT.
31	MKL	MISS KIM DWARF LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONT.
DECIDUOUS SHRUBS- 5'-7' SPREAD				
24	WSC	WESTERN SAND CHERRY	PRUNUS BESSEYI	#5 CONT.
97	RTD	RED TWIG DOGWOOD	CORNUS SERICEA 'ISANTI'	#5 CONT.
89	IHD	IVORY HALO DOGWOOD	CORNUS ALBA 'BALHALO'	#5 CONT.
12	DKL	DWARF KOREAN LILAC	SYRINGA MEYERI 'PALIBIN'	#5 CONT.
100	SNS	SNOWMOUND SPIREA	SPIRAEA NIPPONICA 'SNOWMOUND'	#5 CONT.
DECIDUOUS SHRUBS- 7'-9' SPREAD				
39	UTS	UTAH SERVICEBERRY	AMELANCHER UTAHENSIS	#5 CONT.
12	CMM	CURLLEAF MOUNTAIN MAHOGANY	CERCOCARPUS LEDIFOLIUS	#5 CONT.
EVERGREEN SHRUBS				
98	HUG	HUGHES JUNIPER	JUNIPERUS HORIZONTALIS	#5 CONT.
179	WBM	WHITE BUD MUGO	PINUS MUGO 'WHITE BUD'	#5 CONT.
179	BSJ	BLUE STAR JUNIPER	JUNIPERUS SQUAMATA 'BLUE STAR'	#5 CONT.
7	SPA	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	#5 CONT.
GRASSES				
203	VMG	VARIEGATED MAIDEN HAIR GRASS	MISCANTHUS SINENSIS 'VARIEGATUS'	#1 CONT.
259	MMG	MAIDEN HAIR GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	#1 CONT.
21	PMG	PURPLE MAIDEN GRASS	MISCANTHUS 'PURPURASCENS'	#1 CONT.
29	SHD	SHENANDOAH SWITCHGRASS	PANICUM VIRGATUM 'SHENANDOAH'	#1 CONT.
132	FRG	FEATHER REED GRASS	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	#1 CONT.
122	LBG	THE BLUES LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	#1 CONT.
369	DFG	HAMELN DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	#1 CONT.
PERENNIALS				
60	HCR	SUNSET HYSSOP	AGASTACHE RUPESTRIS	#1 CONT.
10	SEP	SEA PINKS	ARMERIA MARITIMA 'SPLENDENS'	#1 CONT.
40	POM	POPPY MALLOW	CALLIRHOE INVOLUCRATA	#1 CONT.
31	LAC	LANCE-LEAF COREOPSIS	COREOPSIS LANCEOLATA	#1 CONT.
62	CTU	GLOBE CANDYTUFT	IBERIS UMBELLATA	#1 CONT.
45	POI	ICELAND POPPY	PAPAVER NUDICAULE	#1 CONT.

LANDSCAPE CHARTS

TOTAL IMPROVED AREA WITHIN TRACTS	TREES REQUIRED (1/2000 SF.)	TREES PROVIDED	SHRUBS REQUIRED (10/2000 SF.)	SHRUBS PROVIDED	GRASSES REQUIRED	*GRASSES/SHRUB EQUIVALENTS PROVIDED
TRACT C 29,249 S.F.	15	19	146	108	N/A	256 GRASSES (85 SHRUBS)
TRACT D 21,904 S.F.	11	12	110	37	N/A	142 GRASSES (47 SHRUBS)
**TRACT F 21,914 S.F.	N/A	N/A	N/A	N/A	N/A	7 GRASSES (2 SHRUBS)
TRACT I 8,710 S.F.	4	6	44	46	N/A	32 GRASSES (11 SHRUBS)
**TRACT J 44865 S.F.	N/A	N/A	N/A	4	N/A	2 GRASSES
TRACT M 42,643 S.F.	21	23	213	27	N/A	39 GRASSES (13 SHRUBS)
*ROW LANDSCAPE 6,768 S.F.	3	11	34	23	N/A	36 GRASSES (12 SHRUBS)
TOTAL	54	83	577	375 + 202 SHRUB EQUIVALENTS = 577	N/A	202

NOTES:

- *THREE 1 GALLON ORNAMENTAL GRASSES EQUALS 1 (5 GAL. SHRUBS)
- ** TRACTS M4-4 AND M4-8 ARE ALLEYS AND DO NOT HAVE LANDSCAPE REQUIREMENTS

LANDSCAPE CHARTS

TOTAL IMPROVED AREA WITHIN TRACTS	TREES REQUIRED (1/1000 SF.)	TREES PROVIDED	SHRUBS REQUIRED (10/1000 SF.)	SHRUBS PROVIDED	GRASSES REQUIRED	*GRASSES/SHRUB EQUIVALENTS PROVIDED
TRACT E 1,354 S.F.	1	1	13	13	N/A	N/A
TRACT G 1,141 S.F.	1	1	11	26	N/A	10 GRASSES (3 SHRUBS)
TRACT H 1,560 S.F.	1	1	15	17	N/A	24 GRASSES (8 SHRUBS)
TRACT K 1,560 S.F.	1	3	15	17	N/A	44 GRASSES (15 SHRUBS)
TRACT L 1,163 S.F.	1	3	11	8	N/A	12 GRASSES (4 SHRUBS)
TRACT O 1,278 S.F.	1	3	12	20	N/A	0 GRASSES (0 SHRUBS)
TRACT P 1,229 S.F.	1	3	12	20	N/A	0 GRASSES (0 SHRUBS)
ON-LOT TYPICAL 1,083 S.F. (VARIES)	1	1	10	11	N/A	0 GRASSES (0 SHRUBS)
TOTAL	8	16	99	132 + 30 SHRUB EQUIVALENTS = 162	N/A	90

NOTES:

- *THREE 1 GALLON ORNAMENTAL GRASSES EQUALS 1 (5 GAL. SHRUBS)

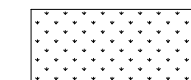
LANDSCAPE TOTALS

TOTAL SOD AREA	24,125 S.F.
TOTAL SHRUB BED AREA	11,414 S.F.
TOTAL NATIVE SEED AREA	57,505 S.F.
TOTAL COBBLE AREA	47,405 S.F.

*INCLUDES R.O.W. AREA

DRYLAND SEED MIX

SCIENTIFIC NAME	COMMON NAME	% OF TOTAL	PER ACRE
AGROPYRON SMITHII VAR. ARRIBA	WESTERN WHEATGRASS	30%	6.4 LBS.
BOUTELOUA GRACILIS VAR. LOVINGTON	BLUE GRAMA	4%	0.8 LBS.
BOUTELOUA CURTIPENDULA VAR. VAUGHN	SIDE-OATS-GRAMA	6%	1.4 LBS.
BUCHLOE DACTYLOIDES VAR. SHARPS	BUFFALOGRASS	8%	1.7 LBS.
SCHIZACHYRIUM SCOPARIUS VAR. PASTURA	LITTLE BLUESTEM	3%	0.7 LBS.
REGREEN	REGREEN	49%	10 LBS.
		100%	21 LBS.



DRYLAND SEED MIX



90/10 FESCUE/BLUEGRASS BLEND

***NOT FOR CONSTRUCTION**



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com

Copperleaf Filing No. 27

Arpahoe County, Colorado

Final Development Plan

LANDSCAPE
SCHEDULE

Project Name: Location: Plan Set: Sheet Name:
Date: 11-05-2021

Job No.:

Approved By:

Designed By:

Horiz. Scale:

Sheet:

Client:

Richmond American
Homes of Colorado,
Inc.

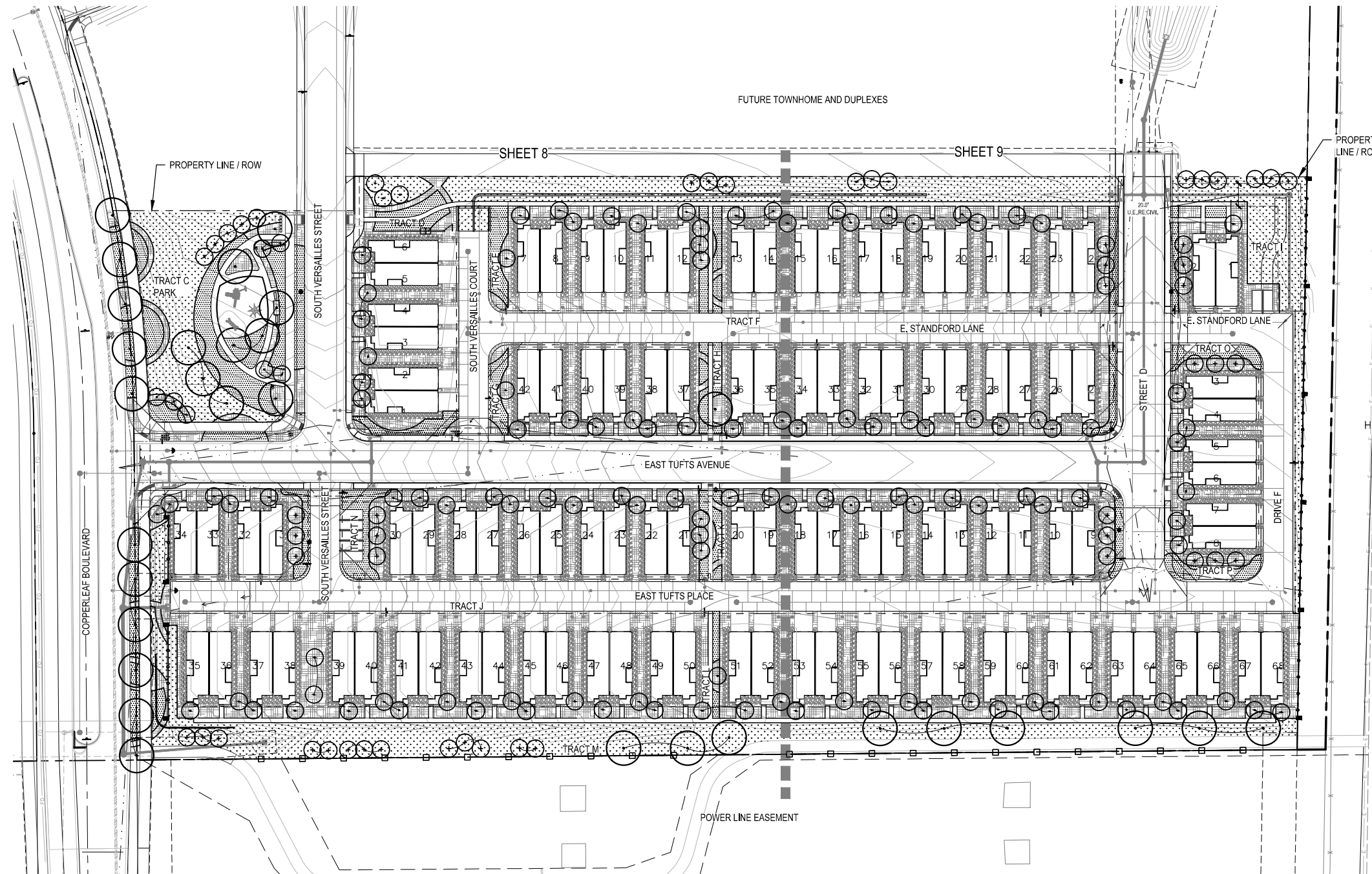
Address:
4350 South Monaco
Street
Denver, CO 80237

Contact:
Eric Kubly
720-977-3862

Sheet: 6

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE
OF COLORADO
SHEET 7 OF 18



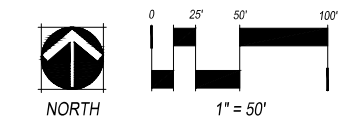
LEGEND

- DECIDUOUS CANOPY TREES
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREES
- STEEL EDGER
- NATIVE SEED
- SOD
- SHRUB BED ROCK MULCH
- COBBLE
- PLAY SURFACE
- PROPERTY LINE / ROW
- FOUR RAIL FENCE
- 6" - 4" SOLID FENCE WITH COPPER TOP DETAIL
- FENCE COLUMN
- ENTRY MONUMENTATION

E-470 PUBLIC
HIGHWAY AUTHORITY
A902372

NOTES

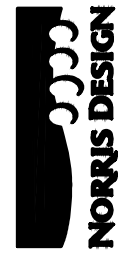
1. SEE SHEET 3 FOR EASEMENT RECORDATION INFORMATION



***NOT FOR CONSTRUCTION**



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com

Copperleaf Filing No. 27
Arapahoe County, Colorado
Final Development Plan
OVERALL LANDSCAPE
PLAN

Proj. Name: Location: Plan Set: Sheet Name:
Date: 11-05-2021

Job No.:
Approved By:
Designed By:
Horiz. Scale:
Sheet:

Client:
Richmond American
Homes of Colorado,
Inc.

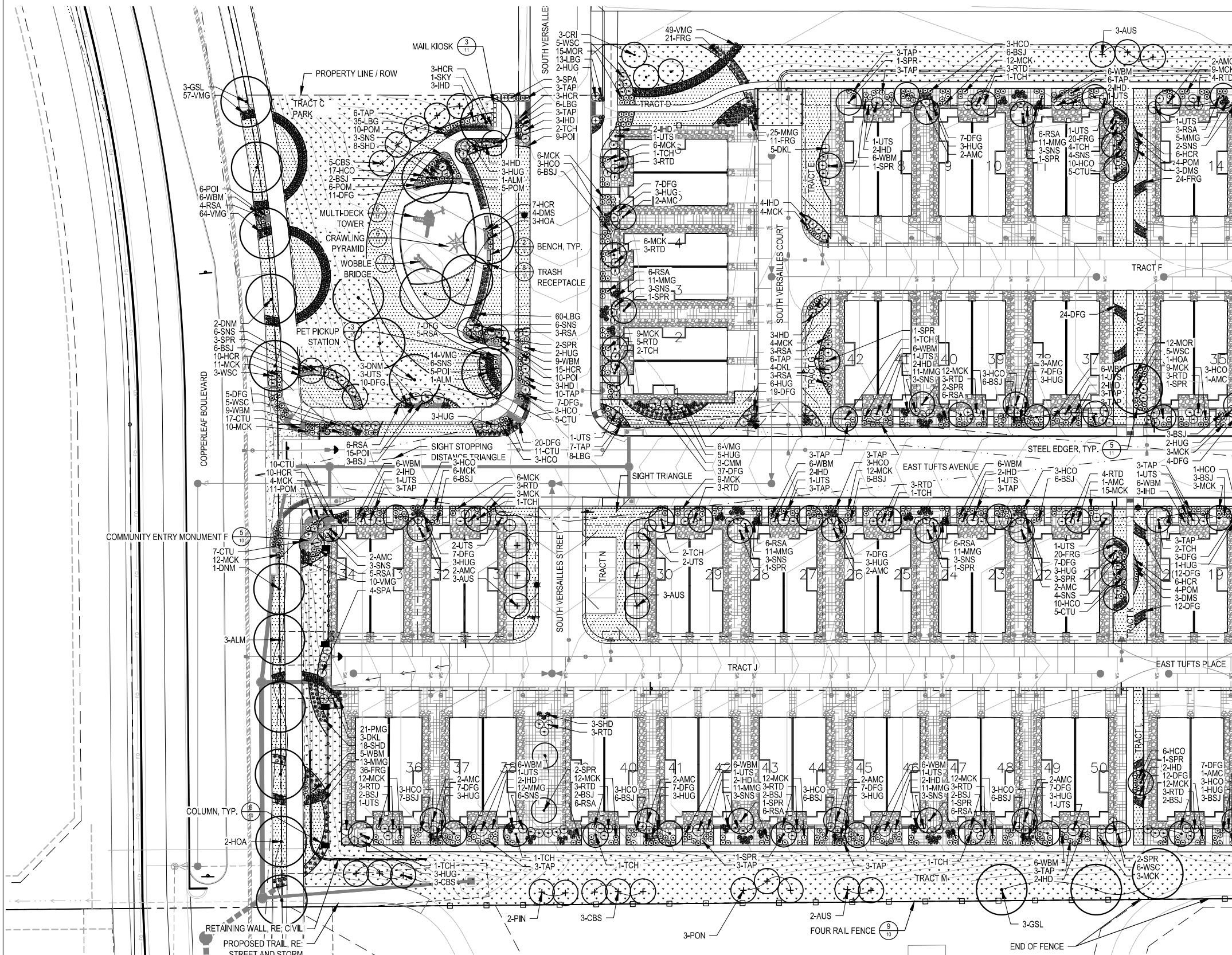
Address:
4350 South Monaco
Street
Denver, CO 80237

Contact:
Eric Kubly
720-977-3862

Sheet: 7

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE
OF COLORADO
SHEET 8 OF 18

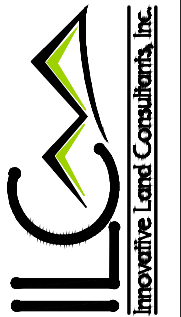
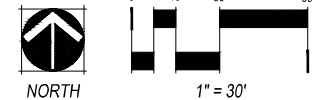


LEGEND

- DECIDUOUS CANOPY TREES
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREES
- EVERGREEN SHRUBS
- DECIDUOUS SHRUBS
- ORNAMENTAL GRASS
- PERENNIALS
- STEEL EDGER
- NATIVE SEED
- SOD
- SHRUB BED ROCK MULCH
- COBBLE
- DOG PARK 3/8" PEA GRAVEL
- BENCH, SEE AMENITY SCHEDULE
- TRASH AND RECYCLING RECEPTACLES
- PROPERTY LINE / ROW
- FOUR RAIL FENCE
- 6' - 4" SOLID FENCE WITH COPPER TOP DETAIL
- FENCE COLUMN

NOTES

1. SEE SHEET 3 FOR EASEMENT RECORDATION INFORMATION



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



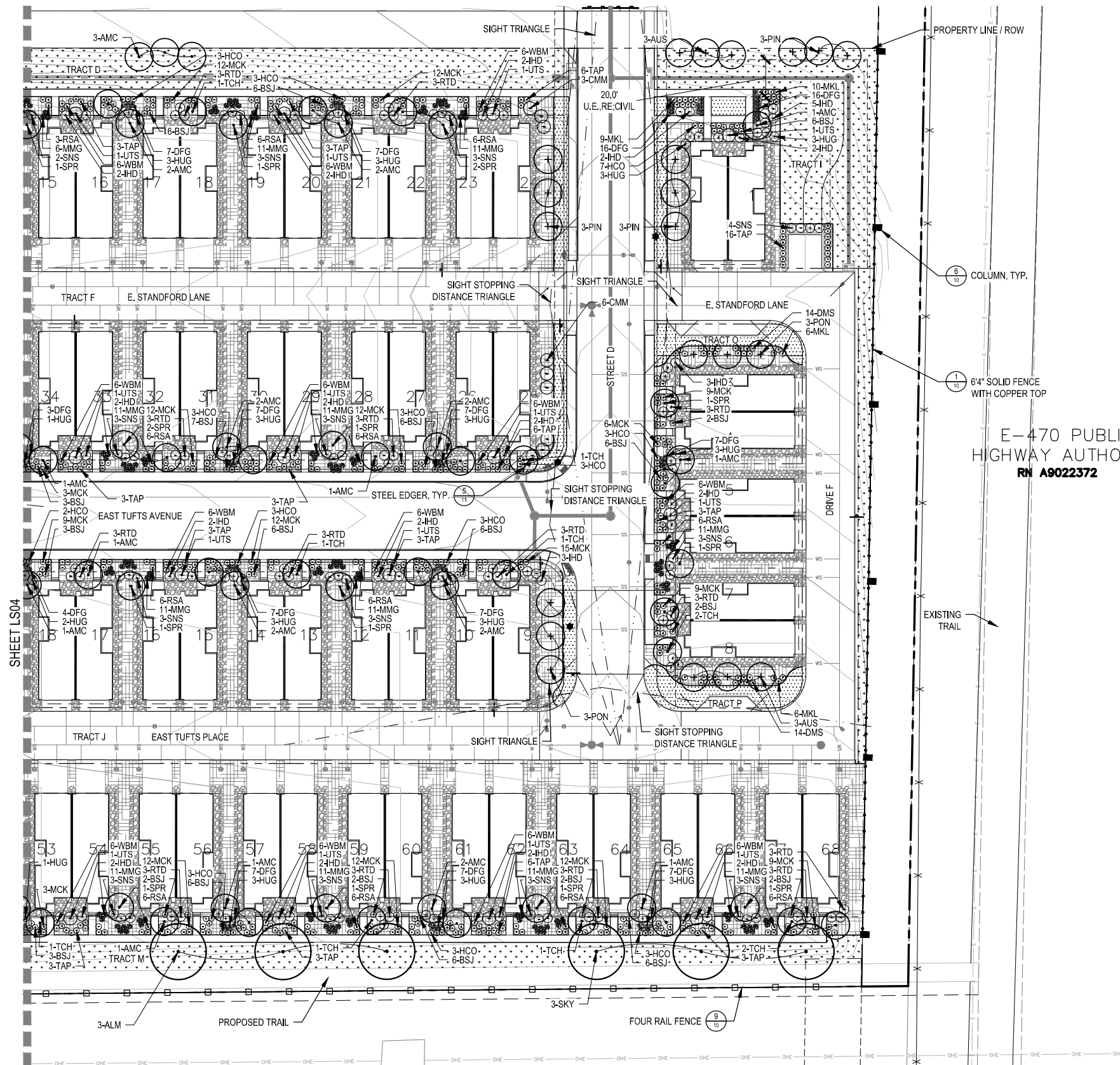
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1166
www.norris-design.com

Copperleaf Filing No. 27
Arapahoe County, Colorado
Final Development Plan
LANDSCAPE PLAN

Project Name: Copperleaf Filing No. 27
Location: Arapahoe County, Colorado
Plan Set: Final Development Plan
Sheet Name: LANDSCAPE PLAN
Date: 11-05-2021
Job No.:
Approved By:
Designed By:
Horizontal Scale:
Sheet:
Client: Richmond American Homes of Colorado, Inc.
Address: 4350 South Monaco Street, Denver, CO 80237
Contact: Eric Kubly, 720-977-3862
Sheet: 8

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE
OF COLORADO
SHEET 9 OF 18

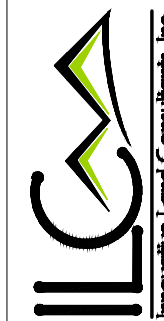


LEGEND

- DECIDUOUS CANOPY TREES
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREES
- EVERGREEN SHRUBS
- DECIDUOUS SHRUBS
- ORNAMENTAL GRASS
- PERENNIALS
- STEEL EDGER
- NATIVE SEED
- SOD
- SHRUB BED ROCK MULCH
- COBBLE
- DOG PARK 3/8" PEA GRAVEL
- BENCH, SEE AMENITY SCHEDULE
- TRASH AND RECYCLING RECEPTACLES
- PROPERTY LINE / ROW
- PRECAST CONCRETE SEAT WALL
- FOUR RAIL FENCE
- 6' - 4" SOLID FENCE WITH COPPER TOP DETAIL
- FENCE COLUMN
- BOULDERS
- PET PICKUP STATION

NOTES

1. SEE SHEET 3 FOR EASEMENT RECORDATION INFORMATION



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1166
www.norris-design.com

Copperleaf Filing No. 27

Arapahoe County, Colorado

Final Development Plan

LANDSCAPE PLAN

Project Name: Copperleaf Filing No. 27
Location: Arapahoe County, Colorado
Plan Set: Final Development Plan
Sheet Name: LANDSCAPE PLAN
Date: 11-05-2021

Job No.:
Approved By:
Designed By:
Horiz. Scale:
Sheet:

Client:
Richmond American
Homes of Colorado,
Inc.

Address:
4350 South Monaco
Street
Denver, CO 80237

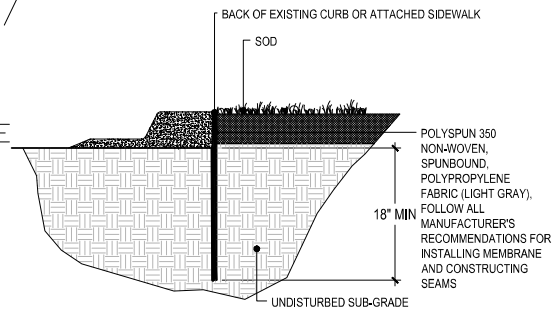
Contact:
Eric Kubly
720-977-3862

Sheet: 9

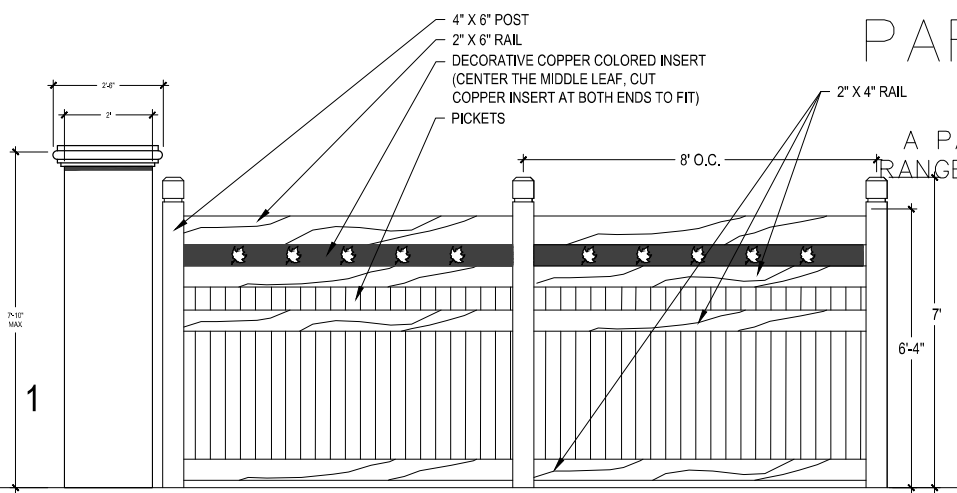


PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

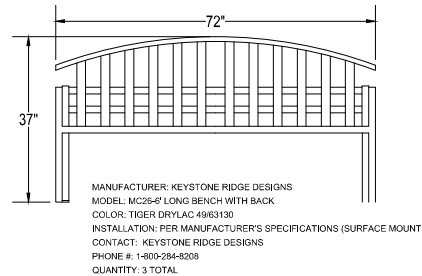
A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE
OF COLORADO
SHEET 10 OF 18



NOTE: CONTRACTOR RESPONSIBLE FOR COMPACTING TRENCH AFTER INSTALLING MEMBRANE
NOTE: SEE CIVIL ENGINEERING PLANS FOR UNDER DRAIN LOCATION AND DETAIL.



1 6' - 4" SOLID FENCE WITH COPPER TOP DETAIL
SCALE: 1" = 2'



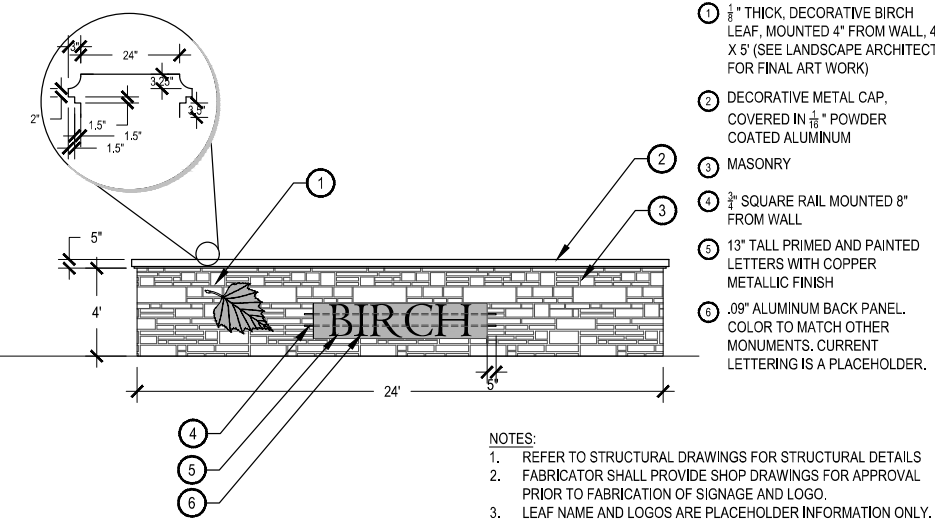
2 BENCH
NOT TO SCALE



MANUFACTURER: KEYSTONE RIDGE DESIGNS
MODEL: PET PICK UP STATION INCLUDES TRASH, SIGNAGE, AND BAG DISPENSER
COLOR: GREEN
INSTALLATION: PER MANUFACTURER'S SPECIFICATIONS (IN GROUND)
CONTACT: BRANDON SMITH AT MADE IN THE SCHADE
PHONE #: 1-303-670-3789
QUANTITY: 1 TOTAL

3 PET PICK-UP STATION
NOT TO SCALE

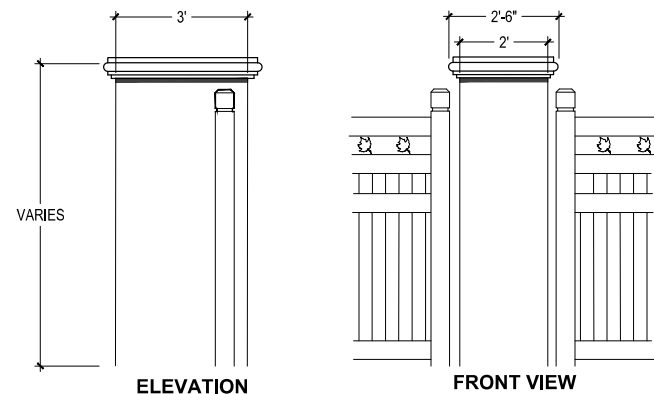
4 MOISTURE BARRIER
N.T.S.
TO BE LOCATED ALONG ALL CURBS ON MEDIANS AND ADJACENT TO ROADWAY



- NOTES:
1. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL DETAILS
2. FABRICATOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OF SIGNAGE AND LOGO.
3. LEAF NAME AND LOGOS ARE PLACEHOLDER INFORMATION ONLY.

5 COMMUNITY ENTRY MONUMENT F ELEVATION
SCALE: 3" = 1'-0"

6 PLACEMENT OF FENCE COLUMN IN RELATION TO FENCE
SCALE: 1" = 2'

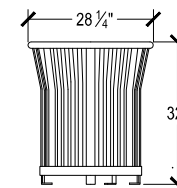


GENERAL NOTES

1. STONE FOR THE MONUMENTS AND COLUMNS WILL BE FROM SUNSET STONE COMPANY, AND THE COLOR WILL BE LIMESTONE - NATURAL OR APPROVED EQUAL.
2. THE FENCE WILL BE STAINED OR PAINTED WITH A SEMI-TRANSPARENT COLOR BY SHERWIN WILLIAMS, OR APPROVED EQUAL, TO COMPLEMENT THE STONE IN THE COLUMNS AND MONUMENTS.
3. THE FENCES WILL ABIDE BY THE BUILDING DEPARTMENT REGULATIONS.
4. GAPS/CHANNELS WILL BE DESIGNED ACCORDING TO FINAL GRADING TO ALLOW FOR PROPER DRAINAGE THROUGH THE WALL.

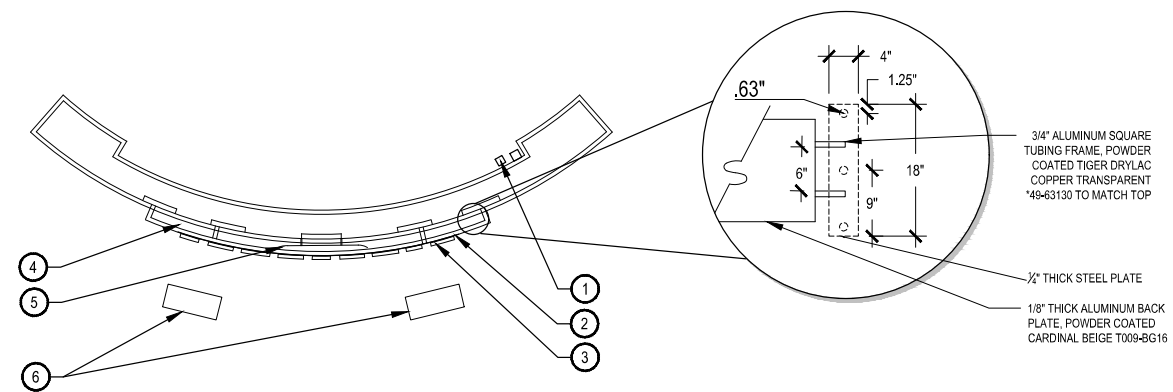
MONUMENT AND FAUX STONE COLOR NOTES

1. STONE TYPE: SUNSET STONE "LIMESTONE NATURAL" OR APPROVED EQUAL.
2. DECORATIVE METAL CAPS WILL BE LOLLYPOP TANGELO OVER SUNBEAM GOLD, OR APPROVED EQUAL, TO MATCH PAINT COLOR AND FINISH USED ON OTHER MONUMENTS IN COPPERLEAF.



MANUFACTURER: KEYSTONE RIDGE DESIGNS
MODEL: HIII3-32, 32 GAL.
COLOR: TIGER DRYLAC 49/63130
INSTALLATION: PER MANUFACTURER'S SPECIFICATIONS (SURFACE MOUNT)
CONTACT: KEYSTONE RIDGE DESIGNS
PHONE #: 1-800-284-8208
QUANTITY: 1 TOTAL

7 TRASH RECEPTACLE
NOT TO SCALE

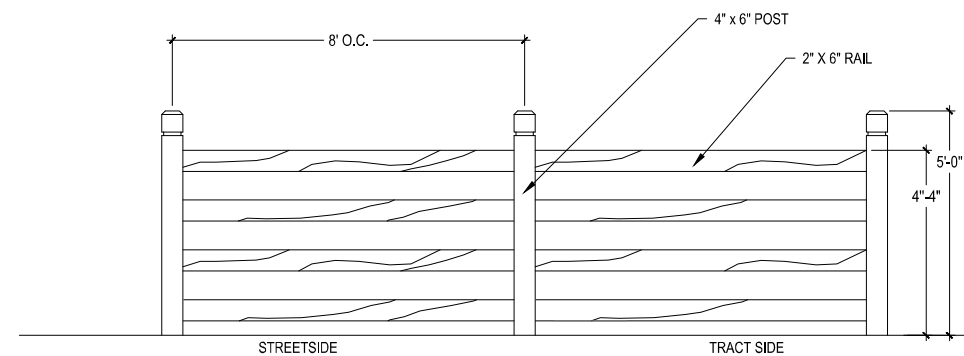


1. FOUR PLEX GFI ON PHOTO CELL
PHOTO CELL: INTERMATIC K4121C
(2 OUTLETS ON PHOTO CELL
2 OUTLETS NOT ON PHOTO CELL)
MOUNTED ON THE BACK SIDE
2. .09" ALUMINUM BACK PANEL.
COLOR TO MATCH OTHER MONUMENTS.
3. 1" PIN MOUNTED 3/4" THICK ALUMINUM POWDER COATED (COLOR TO BE SELECTED BY DEV / L.A.) NAME CENTERED ON 3/4" BAR.
4. 3/4" SOLID SQUARE RAIL
5. ALUMINUM PRIMED AND CUSTOM PAINTED LEAVES WITH COPPER METALLIC FINISH, MOUNTED 4" OFF ROCK FACE, CENTERED VERTICALLY AND HORIZONTALLY ON LEFT SIDE BETWEEN END OF MONUMENT AND LETTERS
6. RAB QF500 LIGHT FIXTURE PLACE PER MANUFACTURES RECOMMENDATIONS

NOTES:
1. LOCATE ALL ELECTRICAL EQUIPMENT ON BACK OF WALL

SCALE: 3" = 1'-0"

8 COMMUNITY ENTRY MONUMENT F PLAN VIEW
SCALE: 3" = 1'-0"



9 FOUR RAIL FENCE DETAIL
SCALE: 1" = 2'



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1166
www.norris-design.com

Copperleaf Filing No. 27

Arapahoe County, Colorado

Final Development Plan

LANDSCAPE
DETAILS

Proj. Name: Location: Arapahoe County, Colorado
Date: 11-05-2021
Job No.:

Approved By:
Designed By:
Horiz. Scale:
Sheet:

Client:
Richmond American
Homes of Colorado,
Inc.
Address:
4350 South Monaco
Street
Denver, CO 80237

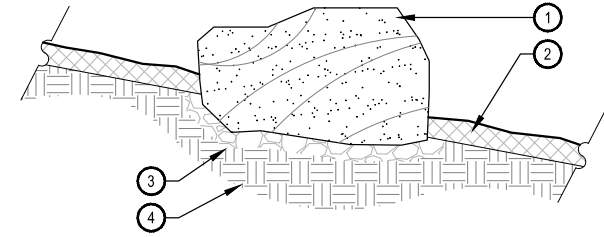
Contact:
Eric Kubly
720-977-3862

Sheet: 10

*NOT FOR CONSTRUCTION

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE
OF COLORADO
SHEET 11 OF 18



- 1 BOULDER, NATURALLY SET BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
- 2 SPECIFIED MULCH, CRUSHER FINES OR COBBLE, REFER TO PLAN
- 3 3" MINIMUM ROAD BASE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY
- 4 UNDISTURBED GRADE

BOULDER SIZES		
QTY.	ITEM	SIZE
0	'A' SIZED BOULDER	24 - 30" DIAMETER X 18" MINIMUM DEPTH
0	'B' SIZED BOULDER	30 - 48" DIAMETER X 24" MINIMUM DEPTH
0	'C' SIZED BOULDER	48 - 60" DIAMETER X 32" MINIMUM DEPTH

NOTES:

1. THESE ARE FREE STANDING BOULDERS ONLY, BOULDERS ASSOCIATED WITH THE BOULDER RETAINING WALLS, PARK ENTRY SIGNS AND INTERPRETIVE SIGNS ARE NOT INCLUDED IN THIS COUNT.
2. THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.
3. CONTRACTOR SHALL SUBMIT SAMPLE OR PHOTOS FOR APPROVAL.

1 LANDSCAPE BOULDER

SCALE: 3/4" = 1'-0"



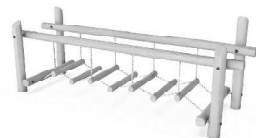
MANUFACTURER:
KOMPAN
MODEL: NRO826-0801
UNTREATED FINISH
INSTALLATION: PER
MANUFACTURER'S
SPECIFICATIONS
QUANTITY: 1 TOTAL

4 CRAWLING PYRAMID NOT TO SCALE



MANUFACTURER:
KOMPAN
MODEL: NRO1024-1021
COLORED FINISH
INSTALLATION: PER
MANUFACTURER'S
SPECIFICATIONS
QUANTITY: 1 TOTAL

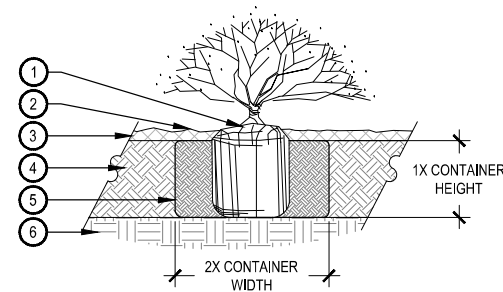
6 MULTI-DECK TOWER NOT TO SCALE



MANUFACTURER:
KOMPAN
MODEL: NRO810-1001
UNTREATED FINISH
INSTALLATION: PER
MANUFACTURER'S
SPECIFICATIONS
QUANTITY: 1 TOTAL

7 WOBBLE BRIDGE NOT TO SCALE

Arapahoe County Case No.: FDP21-002



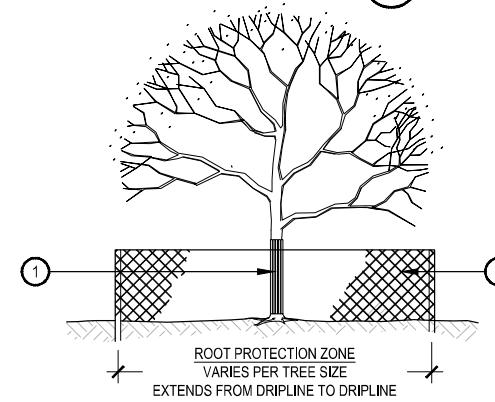
- 1 SET SHRUB ROOT-BALL 1" HIGHER THAN FINISH GRADE
- 2 FINISH GRADE (TOP OF MULCH)
- 3 SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
- 4 TILL IN SPECIFIED SOIL AMENDMENT TO A DEPTH OF 8" IN BED
- 5 BACKFILLED AMENDED SOIL
- 6 UNDISTURBED SOIL

NOTE:

1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

2 SHRUB PLANTING

SCALE: 1 1/2" = 1'-0"



KEEP OUT
TREE PROTECTION
AREA
SIGN

- 1 TRUNK PROTECTION - 1" BOARDS NO LESS THAN 5' LONG OR TO REACH FIRST SCAFFOLD BRANCH. WIRE TO HOLD BOARDS IN PLACE, NO NAILS PERMITTED. INCLUDE WRAPPING OF BURLAP UNDER BOARDS.
- 2 BRANCH PROTECTION - PROTECT LOWER BRANCHES OF TREE CANOPY. PROVIDE CONSTRUCTION FENCING OR EQUAL AT DRIPLINE MINIMUM.
- 3 PLACE SIGNS EVERY 50', PLACE SIGNS WHERE VISIBLE, ATTACH TO FENCING.

SCALE: 1/8" = 1'-0"

5 TREE PROTECTION

NOTES:

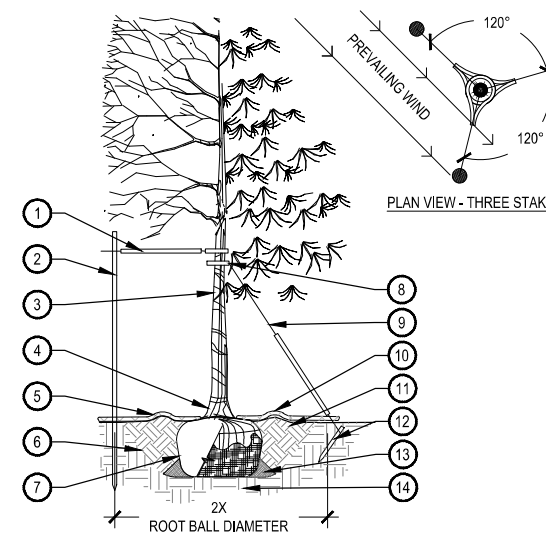
1. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
2. TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.
3. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
4. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
5. TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
6. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. ROOTS SHALL BE CUT NO MORE THAN 1/3 OF THE RADIUS FROM DRIPLINE TO TRUNK. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING. DURING DORMANCY PERIOD, ROOT STIMULATOR SHALL BE APPLIED TO CUT ROOTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
7. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING. DURING DORMANCY PERIOD, EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
8. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.

PRUNING NOTES:

1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - a. 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).
 - b. 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
 - c. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

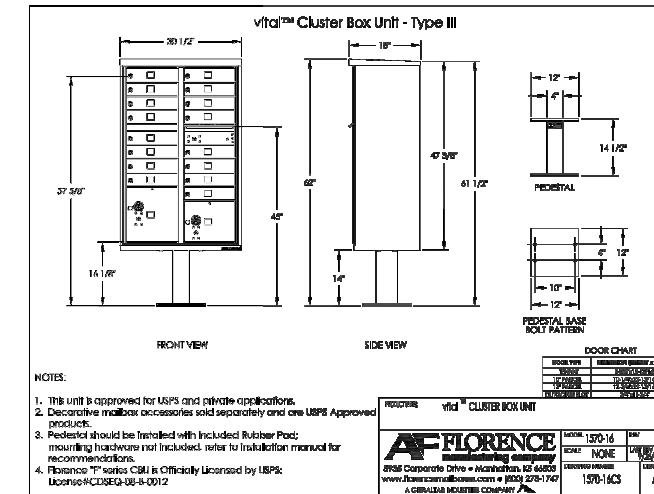


- 1 PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE, EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
- 2 6'-0" UNTREATED WOOD POST, MINIMUM 1.5" DIAMETER, ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL
- 3 TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30, DECIDUOUS ONLY, WRAP FROM BASE OF TRUNK TO BOTTOM LIMB
- 4 PLANT TREE SO THAT TOP MOST MAJOR ROOT IS 1'-2" ABOVE FINISHED GRADE
- 5 2'-0" RADIUS MULCH RING, VENTERED ON TRUNK, 3" DEPTH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
- 6 1:1 SLOPE ON SIDES OF PLANTING HOLE
- 7 ROPES AT TOP OF ROOTBALL SHALL BE CUT, REMOVE TOP 1/3 OF BURLAP, NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
- 8 GROMMETED NYLON STRAPS
- 9 GALVANIZED WIRE, MINIMUM 12 GAUGE CABLE, TWIST WIRE ONLY TO KEEP FROM SLIPPING
- 10 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
- 11 BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20%, BY VOLUME, ORGANIC MATERIAL, WATER THOROUGHLY WHEN BACKFILLING
- 12 2'-0" STEEL T-POST, ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL
- 13 PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
- 14 PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT

8 TREE PLANTING DETAIL

*NOT FOR CONSTRUCTION

SCALE: 3/16" = 1'-0"



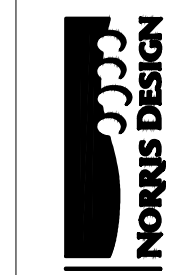
NOTES:

1. This unit is approved for USFS and private applications.
2. Decorative mailbox accessories sold separately and are USPS Approved products.
3. Pedestal should be installed with included Rubber Pad; mounting hardware not included, refer to installation manual for recommendations.
4. Florence "F" series CBU is Officially Licensed by USPS; License#C0502-06-8-0012

vifal™ CLUSTER BOX UNIT			
MODEL	SCALE	DATE	BY
1570-14CS	NONE	1/20/16	A
1570-14CS	NONE	1/20/16	AD



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1186
F 303.892.1186
www.norris-design.com

Copperleaf Filing No. 27
Arapahoe County, Colorado
Final Development Plan
LANDSCAPE
DETAILS

Project Name: Copperleaf Filing No. 27
Location: Arapahoe County, Colorado
Plan Set: Final Development Plan
Sheet Name: LANDSCAPE DETAILS
Date: 11-05-2021
Job No.:
Approved By:
Designed By:
Horiz. Scale:
Sheet:
Client: Richmond American Homes of Colorado, Inc.
Address: 4350 South Monaco Street, Denver, CO 80237
Contact: Eric Kubly, 720-977-3862
Sheet: 11

PART OF COPPERLEAF FILING NO. 27

FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE
OF COLORADO
SHEET 12 OF 18

4.1.7 SINGLE FAMILY ATTACHED ARCHITECTURAL STANDARDS

CATEGORY	SUB-CATEGORY	STANDARDS
REPETITIVE DESIGN		DWELLINGS PLACED ADJACENT TO OR DIRECTLY ACROSS THE STREET (SHARING 50% OR MORE STREET FRONTAGE) FROM OTHER DWELLINGS SHALL HAVE SIGNIFICANTLY DIFFERENT FRONT ELEVATIONS. FRONT ELEVATION WILL BE CONSIDERED "SIGNIFICANTLY DIFFERENT" FROM ONE ANOTHER IF AT LEAST 2 OF THE FOLLOWING 8 DESIGN CONDITIONS ARE MET: 1. THE LOCATION OF AT LEAST 50% OF THE WINDOWS AND DOORS DIFFER BY ONE FOOT OR MORE (REVERSING THE FLOOR PLAN OF THE SAME MODEL SATISFIES THIS OPTION) 2. THE SHAPE OF AT LEAST TWO WINDOW DORMERS AND/OR WINDOW BAYS DIFFER BY TWO FEET OR MORE 3. THE SHAPE OF AT LEAST TWO GABLE ENDS DIFFER BY TWO FEET OR MORE 4. THE SHAPE OF PORCHES AND/OR OTHER SIMILAR PROJECTING DESIGN ELEMENTS DIFFER BY TWO FEET OR MORE 5. THE OVERALL COLOR SCHEMES DIFFER 6. GREATER THAN 50% OF THE FRONT ELEVATION CLADDING IS OF A DIFFERENT MATERIAL 7. THE OVERALL WIDTH OF THE FRONT ELEVATION DIFFERS BY TWO FEET OR MORE 8. ONE HOUSE IS PREDOMINANTLY 1 STORY, WHILE THE OTHER IS PREDOMINANTLY 2 STORIES.
STAGGERED HOUSE SETBACKS		NO STAGGERING OF FRONT SETBACKS IS REQUIRED FOR SINGLE FAMILY ATTACHED BUILDINGS, HOWEVER, VARIATIONS AND STAGGERING OF FACADE PLANES AND FRONT VERTICAL ELEMENTS IS ENCOURAGED.
MINIMUM FLOOR AREA PER DWELLING UNIT		900 SQ. FT. (EXCLUDING FINISHED AND UNFINISHED BASEMENTS, ATTICS & GARAGES; INCLUDING THE LOWER LEVEL OF A SPLIT LEVEL)
MAXIMUM BLDG. HEIGHT		35 FEET
ROOF SHAPES AND MATERIAL	MINIMUM QUALITY ROOF MATERIAL	ARCHITECTURAL DIMENSIONAL COMPOSITE SHINGLES WITH A MINIMUM 25-YEAR WARRANTY. OTHER HIGH QUALITY MATERIALS, SUCH AS SLATE AND TILE ROOFS, ARE ENCOURAGED.
	ROOF COLOR	A MINIMUM OF THREE ROOF COLORS MUST BE OFFERED FOR EACH DEVELOPMENT GREATER THAN 50 BUILDINGS, AND NO MORE THAN TWO HOUSES DIE-BY-SIDE CAN HAVE THE SAME COLOR.
	MINIMUM ROOF PITCH, RISE TO RUN	3 TO 12 - ROOFLINES SHALL VARY BETWEEN BUILDINGS IN ORDER TO AVOID REPETITIVE DESIGN AND TO CREATE DIVERSITY AND QUALITY WITHIN THE NEIGHBORHOOD.
MATERIALS		MATERIAL DIVERSITY IS REQUIRED. UNLESS A DUPLEX OR TOWNHOME IS 100% MASONRY (INCLUDING STUCCO), A MINIMUM OF TWO DIFFERENT MATERIALS SHALL BE INCORPORATED IN EACH MODEL. FOR EXAMPLE: SYNTHETIC STUCCO, BRICK, THINSET BRICK, STONE, SYNTHETIC STONE, CEMENTICIOUS SIDING, HARDBOARD SIDING WITH A MINIMUM 25 YEAR WARRANTY, AND ANY OTHER MATERIAL DEEMED TO BE OF HIGH-QUALITY AND LOW-MAINTENANCE BY THE MASTER DEVELOPER. VARIATIONS OF APPLICATIONS OF THE SAME MATERIAL, SUCH AS SCALLOPS, FISH-SCALE AND LAP SIDING, WILL BE COUNTED AS DIFFERENT MATERIALS FOR THIS REQUIREMENT. VINYL SIDING WILL NOT BE ALLOWED. FOR A MATERIAL TO BE COUNTED AS ONE OF THE TWO MATERIALS REQUIRED, IT MUST PROVIDE A MINIMUM COVERAGE OF 30% OF THE NET AREA OF ALL SIDES OF THE BUILDING. THE COVERAGE DOES NOT NEED TO BE DISTRIBUTED EVENLY ON ALL FOUR SIDES. MATERIAL AND COLOR CHANGES ARE NOT PERMITTED AT OUTSIDE CORNERS. TWO-FOOT MASONRY WRAPS ARE REQUIRED EXCEPT IF PREVENTED BY THE LOCATION OF A WINDOW.
COLORS		COLORS FOR THE ROOF, BODY, WINDOWS, DOORS, AND TRIM MUST BE APPROVED BY THE COUNTY AT TIME OF FINAL DEVELOPMENT PLAN FOR THE SPECIFIC PRODUCTS.
DOORS & ENTRY		DOORS SHOULD VARY IN STYLE AND ENTRY SIDELIGHTS ARE ENCOURAGED.
DECKS & COLUMNS		ALL DECKS AND COLUMNS BUILT BY THE INITIAL BUILDER SHALL BE CONSISTENT AND COMPLEMENTARY TO THE MAIN STRUCTURE IN MATERIALS AND STYLE. ALL PORCH AND DECK COLUMNS GREATER THAN EIGHT FEET ABOVE GRADE SHALL HAVE A MINIMUM CROSS SECTION OF 16 INCHES. ALL DECKS ADDED ON AFTER INITIAL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CCRS.
WINDOWS		WINDOW DESIGN MUST BE CONSISTENT WITH THE STYLE OF THE BUILDINGS, EXCEPT PICTURE WINDOWS, AND CARRIED OUT ON ALL SIDES OF ANY BUILDING ADJACENT TO A MAJOR ARTERIAL, MINOR ARTERIAL, MAJOR COLLECTOR, MINOR COLLECTOR, OPEN SPACE CORRIDOR, PERIMETER OF DEVELOPMENT BOUNDARY, RETAIL, OFFICE, COMMERCIAL, OR INDUSTRIAL PARCEL. FOR EXAMPLE, DIVIDED LIGHT WINDOWS MAY BE PROVIDED ON A VICTORIAN STYLE BUT NOT ON SOME CONTEMPORARY STYLES.
TRIM		TRIM SHALL BE USED WHEN IT IS APPROPRIATE WITH THE STYLE OF THE BUILDING. IT SHALL BE A MINIMUM OF 1X4 ON SIDES OF WINDOWS, 2X6 TRIM ON WINDOW HEADS; AND 2X8 OR 2X10 TRIM AS HORIZONTAL ACCENTS WHEN APPROPRIATE FOR ARCHITECTURAL ACCENTS. TRIM IS NOT REQUIRED WHEN IT WILL CONFLICT WITH THE MATERIALS AND/OR STYLE OF THE BUILDING, FOR EXAMPLE, WHEN STUCCO OR STONE IS USED, OR ON SOME CONTEMPORARY STYLES.
ARCHITECTURAL ACCENTS		DECORATIVE LOUVERS, VENTS, COLOR BANDS, TRIM, AND OTHER ARCHITECTURAL ACCENTS SHALL BE INCORPORATED AT APPROPRIATE LOCATIONS IN ORDER TO PROVIDE INTEREST ON ALL SIDES OF THE BUILDING ELEVATION. THESE ACCENTS MUST BE INCORPORATED AS APPROPRIATE ON ALL SIDES OF A BUILDING ADJACENT TO A MAJOR ARTERIAL, MINOR ARTERIAL, MAJOR COLLECTOR, MINOR COLLECTOR, OPEN SPACE CORRIDOR, PERIMETER OF DEVELOPMENT BOUNDARY, RETAIL, OFFICE, OR COMMERCIAL PROPERTY.

1. INTRODUCTION

1.1. DESIGN STANDARDS PURPOSE AND INTENT

1.1.1 OVERVIEW

A. MINOR AMENDMENTS TO THESE DESIGN STANDARDS THAT DO NOT MODIFY THE INTENT BUT RATHER CLARIFY AMBIGUITY OR OVERSIGHTS, MAY BE ADMINISTRATIVELY APPROVED BY THE PLANNING DIVISION MANAGER ON A CASE-BY-CASE BASIS.

1.2. ROLE OF THE MASTER DEVELOPER

1.2.1. THE MASTER DEVELOPER FOR THE COPPERLEAF COMMUNITY WILL ESTABLISH COVENANTS, CODES AND RESTRICTIONS. THIS WILL DEFINE THE DESIGN REVIEW PROCESS. COMMITTEE MEMBERS, INCLUDING THE MASTER DEVELOPER, WILL REVIEW AND APPROVE ALL PLANS PRIOR TO SUBMITTAL FOR REVIEW AND APPROVAL BY ARAPAHOE COUNTY.

1.3. ADDITIONAL DOCUMENTS

1.3.1. ADDITIONAL DOCUMENTS THAT MAY CONTAIN REGULATIONS REGARDING THE DESIGN AND DEVELOPMENT OF COPPERLEAF INCLUDE BUT ARE NOT LIMITED TO, ALL APPLICABLE ARAPAHOE COUNTY CODES, COPPERLEAF DEVELOPMENT AGREEMENT, COPPERLEAF PRELIMINARY DEVELOPMENT PLANS, AND COPPERLEAF HOMEOWNER'S ASSOCIATION COVENANTS, CODES, AND RESTRICTIONS.

2. LANDSCAPE STANDARDS

2.1. OVERALL LANDSCAPE STANDARDS

2.2. ALL LANDSCAPING WITHIN ARAPAHOE COUNTY R.O.W. WILL ADHERE TO THE REQUIREMENTS OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE AS IN EFFECT JUNE 30, 2010.

2.2.1. STREETSCAPE STANDARDS

A. ARTERIAL AND COLLECTOR STREETSCAPING WILL BE MAINTAINED BY THE ADJACENT HOA, METROPOLITAN DISTRICT, OR OTHER ENTITY EXCEPTING ARAPAHOE COUNTY.
B. ALL LANDSCAPING AND FENCING IMPROVEMENTS WITHIN THE COUNTY R.O.W. MUST HAVE A LICENSE AGREEMENT AND BE REVIEWED AND APPROVED THROUGH THE ENGINEERING DIVISION AS A SEPARATE SUBMITTAL PRIOR TO ANY LANDSCAPE R.O.W. PERMITS BEING ISSUED.

2.2.2. LANDSCAPE BUFFERS

A. STANDARD LANDSCAPE DESIGN FOR BUFFERS
a. LANDSCAPE BUFFERS WILL COMPLY WITH ARAPAHOE COUNTY CODE AND ARAPAHOE COUNTY LANDSCAPE DESIGN GUIDELINES AS IN EFFECT ON JUNE 30, 2010.

B. ALL BUFFER TREATMENTS ARE REQUIRED TO COMPLY WITH THE COPPERLEAF LANDSCAPE DESIGN.

2.2.3. VIEW CORRIDORS & SITE PERIMETER

A. VIEW CORRIDORS IN COPPERLEAF FILING NO. 18 ARE ADJACENT TO OPEN SPACES AND PARKS. SINCE THE DEVELOPMENTS ADJACENT TO THESE CORRIDORS ARE HIGHLY VISIBLE, A STRONG EMPHASIS SHALL BE PLACED ON SENSITIVE LANDSCAPE TREATMENTS THAT WILL AFFORD PLEASANT VISUAL EXPERIENCES FROM THESE CORRIDORS.

2.3. PLANT MATERIAL

2.3.1. MINIMUM SIZES FOR ALL PLANT MATERIAL PROVIDED BY THE BUILDER OR DEVELOPER.

- A. THE HOA COVENANTS, CODES, AND RESTRICTIONS MAY PROVIDE FOR INCREASED MINIMUM SIZES IN SPECIFIC PARCELS.
- B. SHADE TREES 2 INCH CALIPER
- C. ORNAMENTAL TREES 1 1/2 INCH CALIPER
- D. EVERGREEN TREES 6 FOOT HEIGHT MINIMUM, 8 FOOT WHERE ADJACENT TO STREET RIGHTS OF WAY
- E. ALL SHRUBS - #5 CONTAINER
- F. ORNAMENTAL GRASSES - #1 CONTAINER
- G. GROUND COVER, ANNUALS, AND PERENNIALS - NO RESTRICTIONS

2.3.2. PUBLIC WALKS

A. THORNY PLANT MATERIAL SHALL NOT BE LOCATED ADJACENT TO PUBLIC WALKS. CLEAR SPACE ABOVE PUBLIC WALKS SHALL BE EIGHT FEET OR GREATER.

2.3.3. SEEDED AREA REGULATIONS

A. SEEDED AREAS SHALL BE IN ACCORDANCE WITH EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT, ARAPAHOE PARK AND RECREATION DISTRICT, DISTRICT REGULATIONS AND GESC REQUIREMENTS AS APPLICABLE.

2.3.4. TURF AREA REGULATIONS FOR PRIVATELY LANDSCAPED AREAS

B. TURF AREAS WILL BE SEPARATED FROM PLANTING BEDS WHEREVER POSSIBLE. PLANTINGS OF TURF SHALL SIMILARLY BE DISCOURAGED IN AREAS AROUND HYDRANTS, TREE TRUNKS OR ABOVE GROUND VALVES OR UTILITIES. LARGE AREAS OF TURF WHERE NO ACTIVITY OR PEDESTRIAN CIRCULATION OCCURS ARE DISCOURAGED. IN PLACE OF THESE AREAS, MULCHED PLANTINGS ARE RECOMMENDED TO MAINTAIN A GREEN AND WATER EFFICIENT LANDSCAPE. WHERE ADDITIONAL TURF AREAS ARE DESIRED, ALTERNATE TURF SPECIES THAT TOLERATE CIRCULATION, EXTENDED DROUGHT, AND/OR PROVIDE FOR REDUCED MAINTENANCE REQUIREMENTS ARE ENCOURAGED.

2.3.5. NON-LIVING MATERIALS REGULATIONS

A. NO GREATER THAN FIFTY PERCENT OF THE REQUIRED OPEN SPACE SHALL BE COVERED WITH ROCK OR OTHER APPROVED NON-LIVING MATERIALS, WITH A MINIMUM OF FIFTY PERCENT OF THE SURFACE OF NON-LIVING MATERIAL COVERAGE AREAS REQUIRED TO BE COVERED BY LIVING PLANT MATERIALS. GROUND COVER, PERENNIALS, SHRUBS, AND EVERGREEN TREES SHALL BE UTILIZED FOR THIS CALCULATION. AT MATURITY, 75% OF THE REQUIRED OPEN SPACE SHALL BE COVERED BY LIVING PLANT MATERIAL.

2.4. IRRIGATION REQUIREMENTS FOR PRIVATELY LANDSCAPED AREAS

2.4.1. COMPLIANCE WITH EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT

A. ALL DEVELOPMENT MUST COMPLY WITH THE EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT IRRIGATION SYSTEM WATER CONSERVATION REQUIREMENTS. WHERE THE COPPERLEAF DESIGN STANDARDS DIFFER, THE STRICTER REQUIREMENT MUST BE FOLLOWED.

2.4.2. WATER CONSERVATION FOR PRIVATELY LANDSCAPED AREAS

A. IN ACCORDANCE WITH WATER CONSERVATION PRACTICES, AND GUIDELINES FROM THE EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT AND ARAPAHOE PARK AND RECREATION DISTRICT, IRRIGATION WILL BE PROVIDED AT STRATEGIC LEVELS AND LOCATIONS, SO THAT AREAS REQUIRING HIGH LEVELS OF IRRIGATION ARE PROVIDED ONLY WHERE THEY ARE NECESSARY.

2.4.3. IRRIGATION TYPES FOR PRIVATELY LANDSCAPED AREAS

A. AUTOMATIC IRRIGATION IS REQUIRED FOR ALL HOA LANDSCAPE TRACTS NOT DESIGNATED AS NATIVE.
B. AREAS OF RESTORATIVE GRASSES ARE NOT REQUIRED TO HAVE IRRIGATION PER THE POLICIES OF THE ARAPAHOE PARK AND RECREATION DISTRICT.

2.4.4. IRRIGATION EXCEPTIONS

A. FOUNDATION LANDSCAPING IN AREAS OF EXPANSIVE SOILS MAY BE EXEMPT FROM NORMAL IRRIGATION REQUIREMENTS UPON SUBMITTAL OF A SOILS REPORT.

2.5. RESIDENTIAL LANDSCAPE STANDARDS

2.5.1. SINGLE-FAMILY DETACHED

A. FRONT YARD LANDSCAPE REQUIREMENTS

a. THE BUILDER IS REQUIRED TO PROVIDE FRONT YARD LANDSCAPING FOR ALL HOMES IN SINGLE-FAMILY DETACHED DEVELOPMENTS. FRONT YARD LANDSCAPING MUST BE INSTALLED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR WITHIN 120 DAYS OF THE START OF THE LANDSCAPE SEASON, APRIL 15TH, UNLESS OTHERWISE PROHIBITED BY RULES AND REGULATIONS OF THE EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT. IN WHICH CASE FRONT YARD LANDSCAPING MUST BE INSTALLED WITHIN 90 DAYS OF SAID RESTRICTION BEING LIFTED OR WITHIN 90 DAYS OF THE START OF THE LANDSCAPE SEASON. IN ORDER TO ASSURE QUALITY LANDSCAPING AND A HARMONIOUS BUT VARIED STREETSCAPE, LANDSCAPE PACKAGES HAVE BEEN SELECTED. THE SAME LANDSCAPE PACKAGE MAY NOT BE USED ON SIDE-BY-SIDE LOTS.

B. REAR YARD LANDSCAPE REQUIREMENTS

C. THE HOMEOWNER MUST INSTALL REAR-YARD LANDSCAPING WITHIN 120 DAYS OF THE START OF THE LANDSCAPE SEASON, APRIL 15TH, UNLESS OTHER GOVERNMENTAL AGENCIES SUCH AS ARAPAHOE COUNTY OR EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT PRECLUDE SUCH COMPLETION DUE TO REGULATIONS RELATED TO A DROUGHT OR WATER CONSERVATION EFFORTS. IN THAT EVENT, ALL LANDSCAPE MUST BE COMPLETED, EXCEPT THE SOD/SEED PORTION, WITHIN THE PRESCRIBED 120 DAYS AND THE SOD/SEED PORTION MUST BE INSTALLED WITHIN 60 DAYS OF ANY SUCH RESTRICTIONS BEING LIFTED, OR 60 DAYS AFTER THE START OF THE LANDSCAPE SEASON.

D. COMMON LANDSCAPING, INSTALLED BY THE BUILDER AND MAINTAINED BY THE HOA, MAY BE PROVIDED.

E. LANDSCAPE TO BE DESIGNED IN ACCORDANCE WITH THE ARAPAHOE COUNTY CODE IN EFFECT JUNE 30, 2010.
F. PLEASE REFER TO SHEET 2, GENERAL NOTE 1 HEREIN FOR ADDITIONAL LOT LANDSCAPE REQUIREMENTS.

2.6. STANDARDS

2.6.1. GENERAL REQUIREMENTS FOR PRIVATELY LANDSCAPED AREAS

A. LANDSCAPE AREAS SHALL INCLUDE A COMBINATION OF LIVING PLANT MATERIALS INCLUDING TREES, SHRUBS, ANNUAL PLANTS, PERENNIAL PLANTS, VINES, GRASSES, AND/OR GROUND COVER. NON-LIVING, DURABLE MATERIALS COMMONLY USED IN LANDSCAPING SUCH AS, BUT NOT LIMITED TO, WOOD MULCHES, ROCKS, PEBBLES, SAND, WATER FEATURES, AND DECORATIVE PAVING, MAY ALSO BE USED IN LANDSCAPED AREAS.

B. ALL LANDSCAPE AREAS SHALL HAVE AN APPROVED IRRIGATION SYSTEM, EXCEPT PER SECTION 4.3.3 A & B HEREIN.

C. A LANDSCAPED AREA SHALL HAVE A MINIMUM DIMENSION OF 3' ON ANY SIDE.

D. ALL PLANT MATERIAL SHOULD BE OF SOUND HEALTH, VIGOROUS GROWTH, AND FREE FROM INSECT PESTS.

E. DROUGHT TOLERANT AND XERIC PLANT SPECIES SHALL BE USED WHENEVER POSSIBLE AND APPROPRIATE FOR PRACTICAL WATER CONSERVATION TECHNIQUES. THE SEVEN PRINCIPLES OF XERISCAPE ARE:

- a. MINIMIZE COOL SEASON TURF AREAS.
- b. REPLACE TURF AREAS WITH HARDSCAPE SUCH AS DECKING, PATIOS, WALKWAYS, ETC.
- c. REDUCE TURF AREAS WITH MULCHED PLANTING BEDS.
- d. AMEND SOILS WITH ORGANIC MATTER.
- e. ZONE PLANTS BY WATER, SOIL, AND SUN NEEDS.
- f. ZONE IRRIGATION BY PLANT WATER NEEDS.
- g. MAINTAIN LANDSCAPE TO REDUCE WATER USAGE BY WEEDS AND PROMOTE HEALTH PLANT GROWTH.
- h. 4.5.2 SCREENING REQUIREMENTS

F. WHENEVER STRUCTURES SUCH AS FENCES OR WALLS ARE USED TO CREATE A SCREEN, PLANTS SHALL BE LOCATED ON THE SIDES OF THE STRUCTURE THAT ARE VISIBLE FROM ADJACENT RIGHT-OF-WAY.

G. METHODS OF SCREENING INCLUDE BERMING, LANDSCAPING, AND DECORATIVE WALLS AND FENCING.

H. ALL OTHER SCREENING REQUIREMENTS WILL MEET THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE IN EFFECT ON JUNE 30, 2010.

I. 4.5.3 PLANTING REQUIREMENTS

J. TREES, SHRUBS, AND OTHER PLANT MATERIALS WITH THORNS, SPINES, SEED PODS, OR LARGE FRUITS SHALL NOT BE PERMITTED WITHIN 10' OF SIDEWALKS.
K. TREES SHALL BE PLANTED SO THAT AT MATURITY THEY DO NOT INTERFERE WITH OVERHEAD POWER LINES.

3. OPEN SPACE AND PARKS STANDARDS

3.1. GENERAL REQUIREMENTS

3.1.1. IRRIGATION

A. IRRIGATION SHALL BE PROVIDED IN AN EFFICIENT MANNER THAT MAXIMIZES WATER CONSERVATION AND THAT IS CONSISTENT WITH THE ARAPAHOE PARK AND RECREATION DISTRICT AND EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT REQUIREMENTS AS MAY BE APPLICABLE.

a. ACTIVE PORTIONS OF PARKS SHALL BE IRRIGATED, SUCH AS AREAS AROUND SHELTERS, PLAYGROUNDS, ENTRANCES, PLAYFIELDS, AND WHERE TRAILHEADS MEET THE ADJACENT ROAD.

b. THE INACTIVE/NATURAL AREAS SHALL BE PLANTED WITH GRASSES THAT ADAPT TO NATIVE CONDITIONS AND THEREFORE DO NOT REQUIRE FULL IRRIGATION TO ESTABLISH THEMSELVES PER THE POLICIES OF THE ARAPAHOE PARK AND RECREATION DISTRICT. HOWEVER, TEMPORARY IRRIGATION TO ESTABLISH THESE AREAS WILL BE PROVIDED.

3.1.2. MAINTENANCE

A. AN HOA AND/OR METROPOLITAN DISTRICT WILL MAINTAIN ANY AREAS NOT SUBJECT TO MAINTENANCE BY THE ARAPAHOE PARK AND RECREATION DISTRICT OR EAST CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT.



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com

Copperleaf Filing No. 27

Arapahoe County, Colorado

Final Development Plan

DESIGN STANDARDS

Proj. Name: Location: Plan Set: Sheet Name: Date: 11-05-2021

Job No.:

Approved By: Designed By: Horiz. Scale: Sheet:

Client: Richmond American Homes of Colorado, Inc.

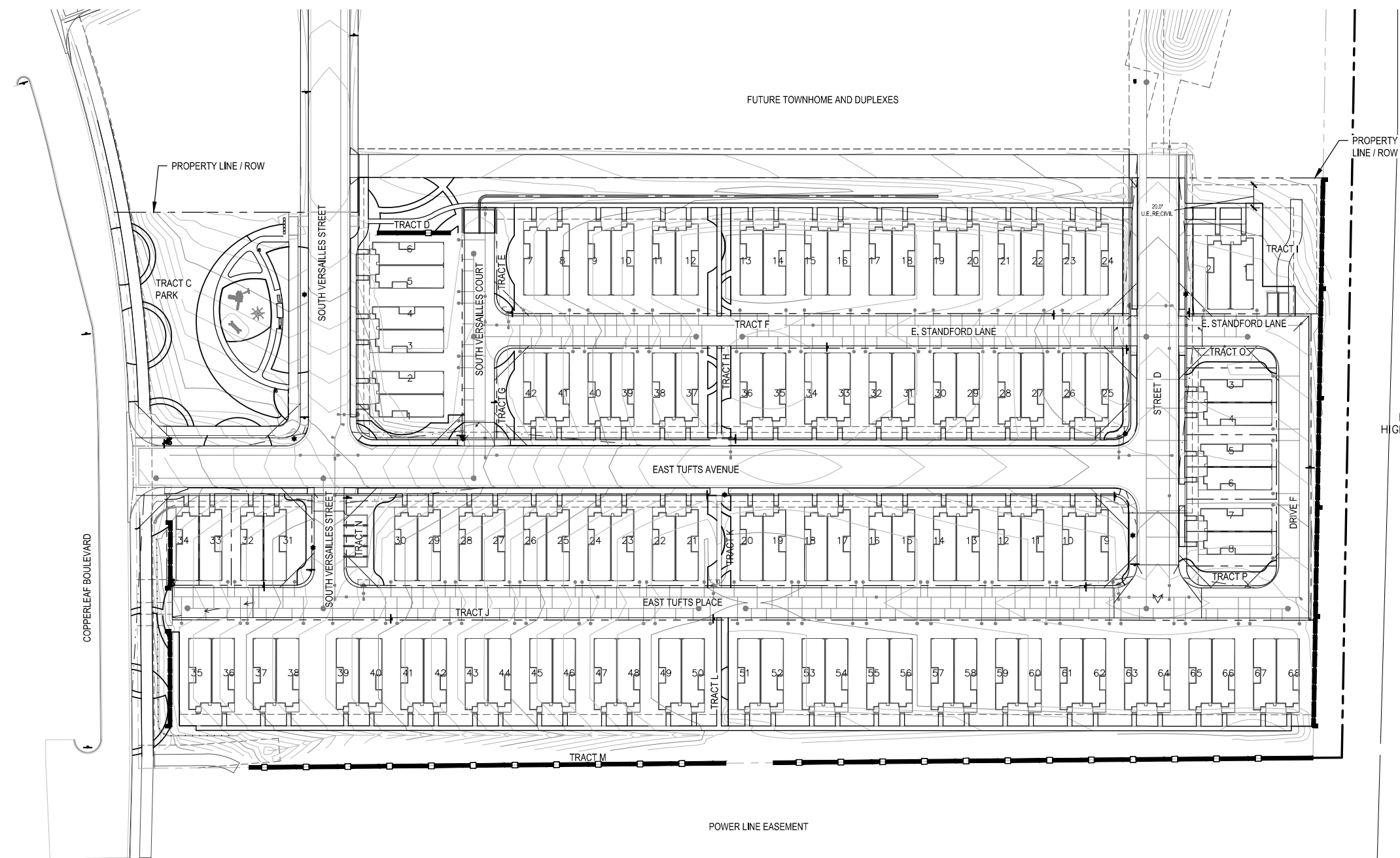
Address: 4350 South Monaco Street, Denver, CO 80237

Contact: Eric Kubly 720-977-3862




Sheet: 12

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

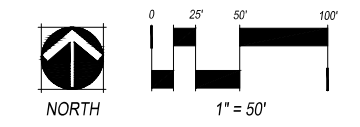
A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE
OF COLORADO
SHEET 13 OF 18



LEGEND

-  FOUR RAIL FENCE
-  6'-4" SOLID FENCE WITH COPPER TOP DETAIL
-  FENCE COLUMN

E-470 PUBLIC
HIGHWAY AUTHORITY
#A002372



***NOT FOR CONSTRUCTION**



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1166
www.norris-design.com

Copperleaf Filing No. 27
Arapahoe County, Colorado
Final Development Plan
OVERALL FENCING PLAN

Proj. Name: Location: Plan Set: Sheet Name:
Date: 11-05-2021

Job No.:
Approved By:
Designed By:
Horiz. Scale:
Sheet:

Client:
Richmond American
Homes of Colorado,
Inc.

Address:
4350 South Monaco
Street
Denver, CO 80237

Contact:
Eric Kubly
720-977-3862

Sheet: 13

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

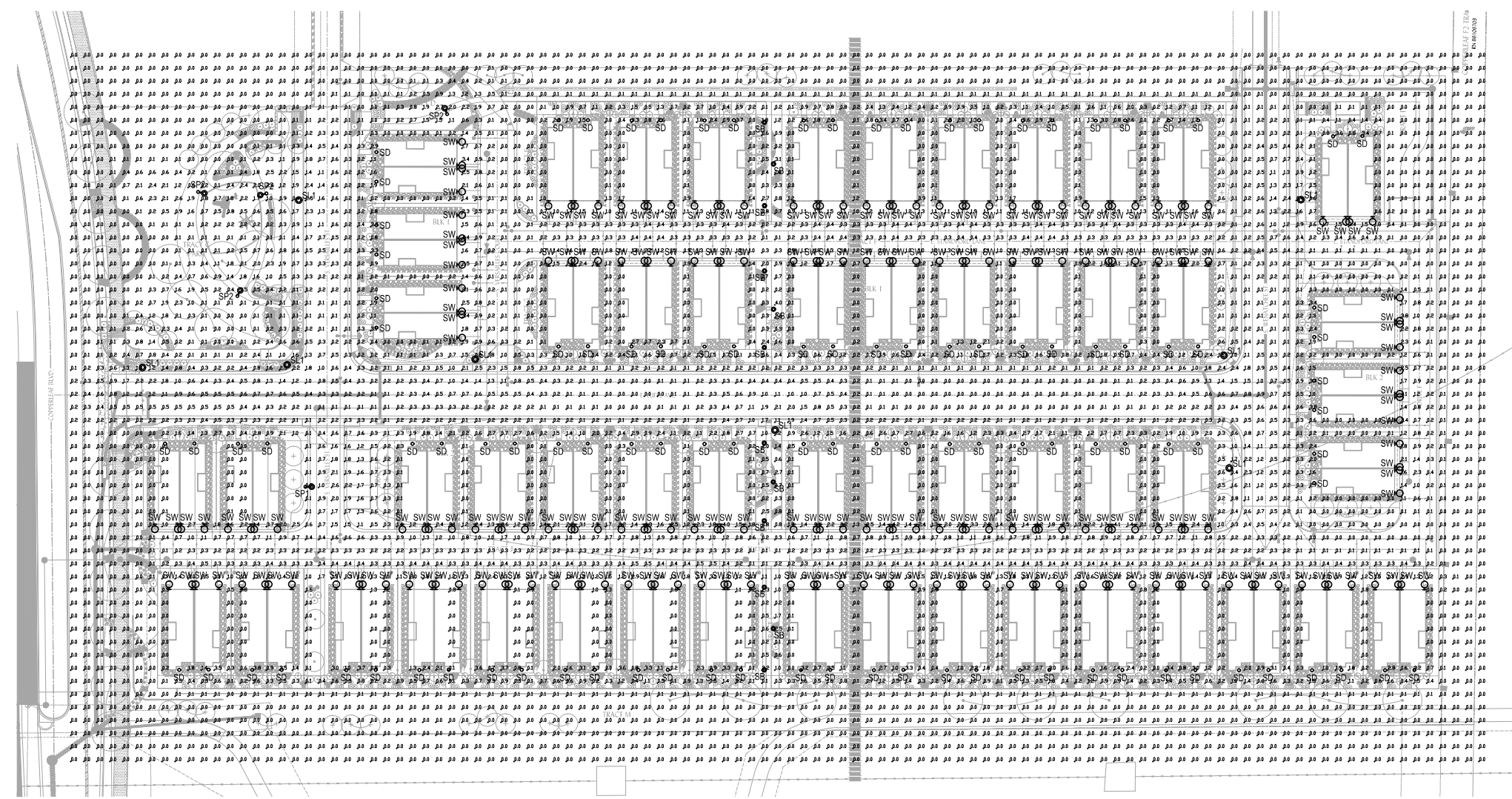
A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5, RANGE 66 WEST OF THE SIXTH
PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
SHEET 14 OF 18



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com

STUDIO LIGHTNING

STUDIO LIGHTNING
63 SUNSET DR.
BAILEY, CO 80421
303.242.1572



1 SITE LIGHTING PHOTOMETRIC

SCALE: 1" = 50'-0"

- PHOTOMETRY PLAN GENERAL NOTES:**
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS WITH MINIMAL GLARE ONTO ADJACENT PROPERTIES.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 - THERE WILL BE NO OFF-SITE GLARE ALLOWED.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO ARAPAHOE COUNTY EXTERIOR LIGHTING STANDARDS

LIGHTING CALCULATION STATISTICS SUMMARY:					
	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
OVERALL SITE:	1.0fc	4.4fc	0.0fc	NA	NA
PRIVATE PARKING/PAVED AREAS:	0.3fc	0.5fc	0.1fc	5.0:1	3.0:1

TAKEN FROM CENTER OF DRIVE AISLE

Copperleaf Filing No. 27
Arapahoe County, Colorado
Final Development Plan
SITE LIGHTING PHOTOMETRIC

Proj. Name: _____
Location: _____
Plan Set: _____
Sheet Name: _____
Date: 11-05-2021
Job No.: 1002-100
Approved By: JMB
Designed By: JMB
Horiz. Scale: HOR
Sheet: 14 of 18
Client: Richmond American Homes of Colorado, Inc.
Address: 4350 South Monaco Street, Denver, CO 80237
Contact: Eric Kubly, 720-977-3862
Sheet: 14

PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5, RANGE 66 WEST OF THE SIXTH
PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO
SHEET 15 OF 18



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com

STUDIO LIGHTING

STUDIO LIGHTING
63 SUNSET DR.
BAILEY, CO 80421
303.242.1572

Copperleaf Filing No. 27

Arapahoe County, Colorado
Final Development Plan

SITE LIGHTING DETAILS

Proj. Name:

Location:

Plan Set:

Sheet Name:

Date: 11-05-2021

Job No.: 1002-100

Approved By: JMB

Designed By: JMB

Horiz. Scale: HOR

Sheet: 15 of 18

Client:
Richmond American Homes of Colorado, Inc.

Address:
4350 South Monaco Street
Denver, CO 80237

Contact:
Eric Kubly
720-977-3862

Sheet: 15

PROGRESS LIGHTING

P8108 SERIES 5.5 inch LED New Construction And Remodel - Wet location listed - PROGRESS LED

Specifications:

The P8108 delivers a solution for flat mount, low profile, outdoor and semi-outdoor lighting in residential and commercial applications. The P8108 is available in 230V and 120V for most electric applications for the listed applications. The P8108 provides superior performance, cost and safety benefits.

Special Features:

- White finish.
- Adjustable adjustable lens covers (clear or frosted).
- Deep recessed design for easy installation.
- Can be installed in a 2" hole.
- Low profile design for easy installation.
- Available in 230V and 120V.
- 2" hole diameter.
- 120V/150W/100lm.
- 230V/150W/100lm.

Performance:

Input Power	12.5W
Input Voltage	120V
Input Frequency	60 Hz
Lumens/Power	75/1000 (60-70)
CFR	100000
CU	90
Life Expectancy	50,000 (L70/T4.2)
EMC/EMF	FCC Part 15, Class 2
Min. Start Temp	30°C
Max. Operating Temp	30°C
Warranty	5 year warranty
Labels	CE/UL/ETL/IC/ROHS/REACH/ENERGY STAR qualified
Labels	Mean Well's TLE-24-JA-3026

Project: **SD**

Fixture Type: _____

Location: _____

Finish: _____

Image: **P8108-28-30K**

Dimensions:

(A) Overall Diameter: 5.5"

(B) Height: 2.5"

(C) Mounting Diameter: 2.5"

(D) Light Emitting Surface (LES): 3"

(E) Overall H: 5.5"

Included Mounting Options:

PROGRESS LIGHTING

CYLINDER Wall mounted - Wet location listed - PROGRESS LED

Specifications:

The CYLINDER is ideal for a wide range of outdoor and semi-outdoor applications including residential and commercial. The CYLINDER features a cylindrical design and a recessed lens cover for a modern LED design. The CYLINDER provides superior performance, cost and safety benefits.

Construction:

Used EPDM gasketing for outdoor use.

Used stainless steel construction.

Water proof.

Power Stop Technology to 100% brightness with most LED types of drivers (see Operating Temp).

LED plate covers a standard 4" mounting recessed outlet box.

4" LED sq. mounting recessed outlet box included.

4" hole diameter.

White finish.

Performance:

Number of Modules	1
Input Power	12W
Input Voltage	120V
Input Frequency	60Hz
Lumens/Power	75/1000 (60-70) per module
CFR	100000
CU	90
Life	50,000 (L70/T4.2)
EMC/EMF	FCC Part 15, Class 2
Min. Start Temp	30°C
Max. Operating Temp	30°C
Warranty	5 year warranty
Labels	CE/UL/ETL/IC/ROHS/REACH/ENERGY STAR qualified

Project: **SW**

Fixture Type: _____

Location: _____

Finish: _____

Image: **P5674-31/30K**

Dimensions:

Width: 5"

Height: 7-1/2"

Depth: 4"

HACTR: 8-1/4"

Invue

SB

DESCRIPTION:

The ABB ARBOR bollard is a modern, minimalist design that provides a high level of performance and safety. The bollard is made of high-quality materials and is designed to withstand harsh weather conditions. It is available in a variety of finishes and colors to match your outdoor space.

FEATURES:

- Modern, minimalist design.
- High-quality materials.
- Available in a variety of finishes and colors.
- Durable and long-lasting.
- Easy to install.

Performance:

Input Power	12.5W
Input Voltage	120V
Input Frequency	60 Hz
Lumens/Power	75/1000 (60-70)
CFR	100000
CU	90
Life Expectancy	50,000 (L70/T4.2)
EMC/EMF	FCC Part 15, Class 2
Min. Start Temp	30°C
Max. Operating Temp	30°C
Warranty	5 year warranty
Labels	CE/UL/ETL/IC/ROHS/REACH/ENERGY STAR qualified
Labels	Mean Well's TLE-24-JA-3026

Project: **SB**

Fixture Type: _____

Location: _____

Finish: _____

Image: **ABB ARBOR BOLLARD**

Dimensions:

Height: 28"

Width: 4"

Depth: 4"

Included Mounting Options:

Invue

SP1/SP2

DESCRIPTION:

The SP1 and SP2 bollards are modern, minimalist designs that provide a high level of performance and safety. They are made of high-quality materials and are designed to withstand harsh weather conditions. They are available in a variety of finishes and colors to match your outdoor space.

FEATURES:

- Modern, minimalist design.
- High-quality materials.
- Available in a variety of finishes and colors.
- Durable and long-lasting.
- Easy to install.

Performance:

Input Power	12.5W
Input Voltage	120V
Input Frequency	60 Hz
Lumens/Power	75/1000 (60-70)
CFR	100000
CU	90
Life Expectancy	50,000 (L70/T4.2)
EMC/EMF	FCC Part 15, Class 2
Min. Start Temp	30°C
Max. Operating Temp	30°C
Warranty	5 year warranty
Labels	CE/UL/ETL/IC/ROHS/REACH/ENERGY STAR qualified
Labels	Mean Well's TLE-24-JA-3026

Project: **SP1/SP2**

Fixture Type: _____

Location: _____

Finish: _____

Image: **SP1/SP2**

Dimensions:

Height: 28"

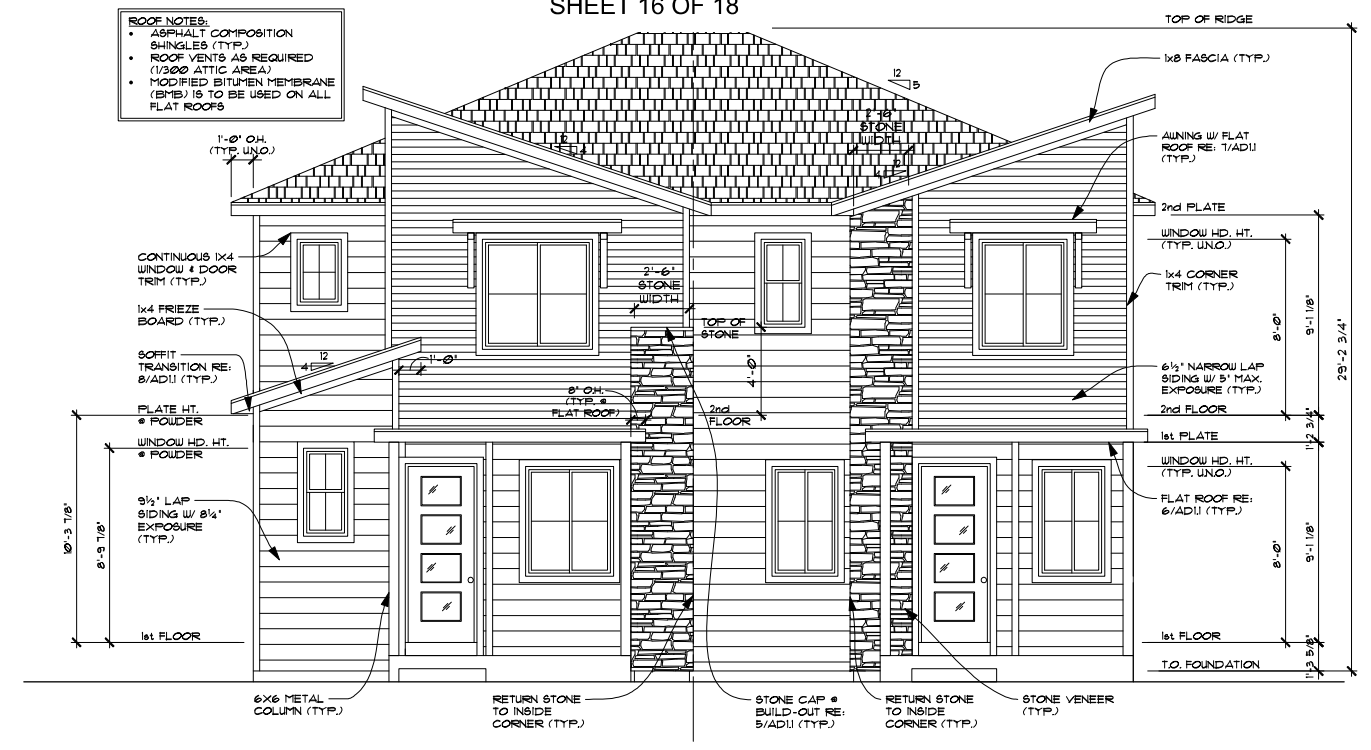
Width: 4"

Depth: 4"

Included Mounting Options:

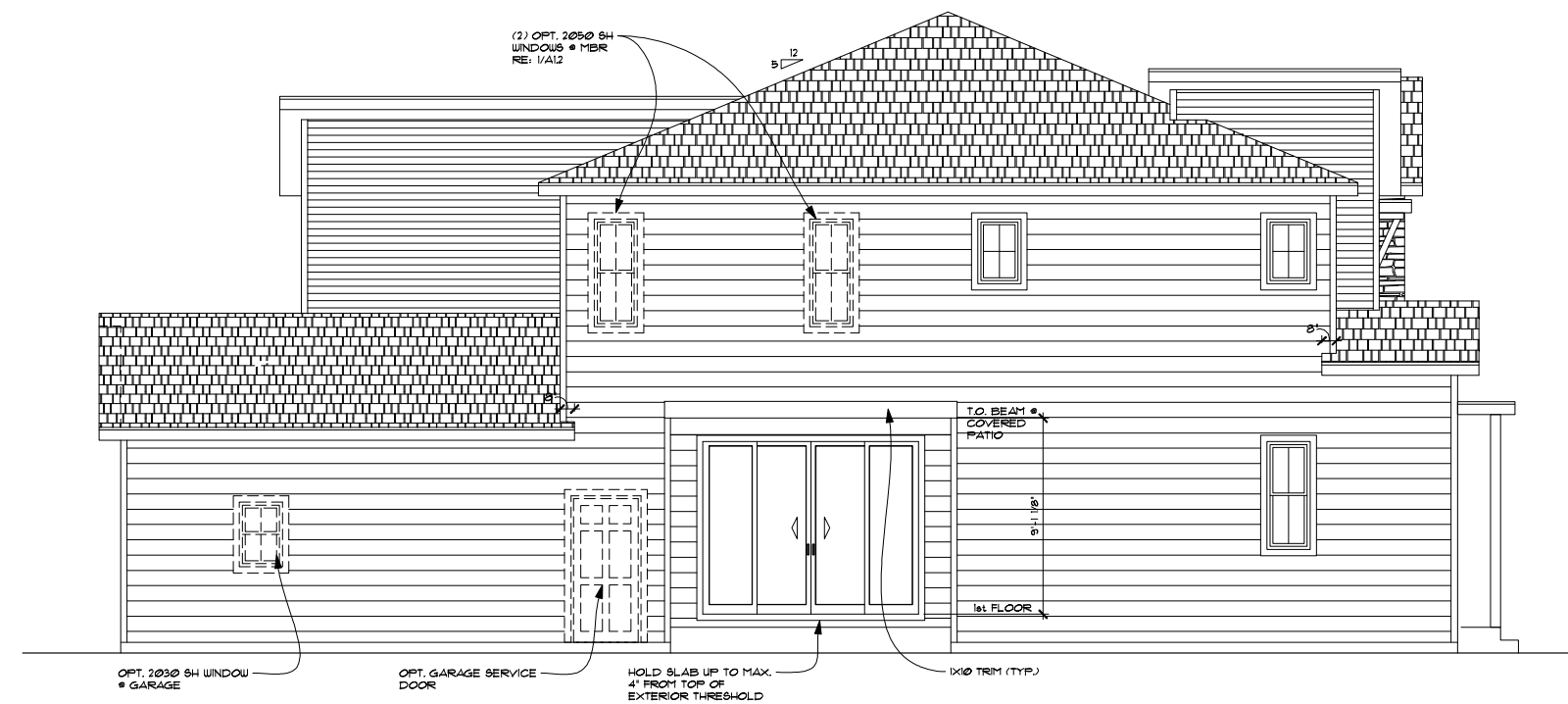
PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE
OF COLORADO
SHEET 16 OF 18



2 FRONT ELEVATION B - D769
SCALE: 1/4"=1'-0"

1 FRONT ELEVATION B - D770
SCALE: 1/4"=1'-0"



3 LEFT ELEVATION B - D769
SCALE: 1/4"=1'-0"

R319.1
PROVIDE MINIMUM 4" TALL HOUSE
NUMBERS w/ 1/2" STROKE-WIDTH

NOTE:
ENHANCED LOTS ARE REQUIRED FOR LOTS
WHICH FACE A STREET, PARK OR OPEN
SPACE.

- ENHANCED LOT ELEVATIONS TO INCLUDE:**
- LEFT SIDE ELEVATION (D769) -
WINDOWS AT MASTER BEDROOM,
WINDOW AT GARAGE, GARAGE
SERVICE DOOR
 - REAR ELEVATION - WINDOW AT
MASTER BATH
 - RIGHT SIDE ELEVATION (D770) -
WINDOW AT BATH 2, WINDOWS AT
MASTER BEDROOM, WINDOW AT
POWDER, WINDOW AT GARAGE



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com

Copperleaf Filing No. 27
Arapahoe County, Colorado
Final Development Plan
ARCHITECTURAL ELEVATIONS

Proj. Name: Location: Plan Set: Sheet Name:
Date: 11-05-2021
Job No.:

Approved By:
Designed By:
Horiz. Scale:
Sheet:

Client:
Richmond American
Homes of Colorado,
Inc.

Address:
4350 South Monaco
Street
Denver, CO 80237

Contact:
Eric Kubly
720-977-3862

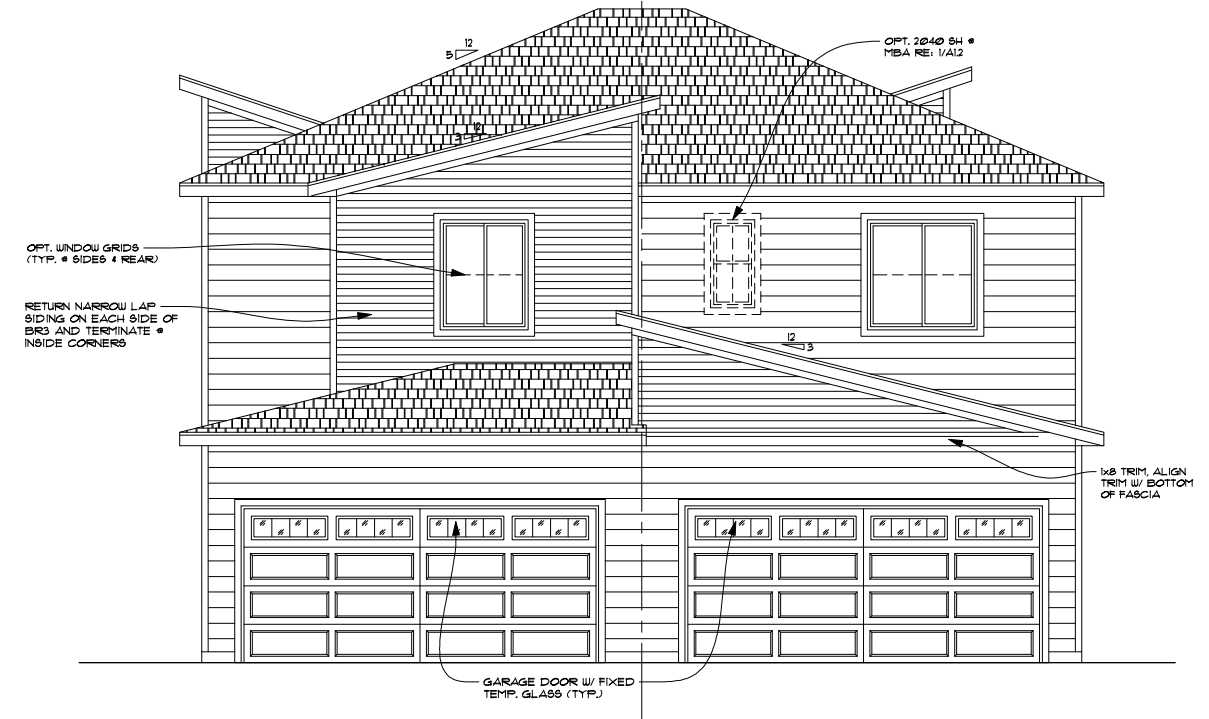
Sheet 16



*NOT FOR CONSTRUCTION

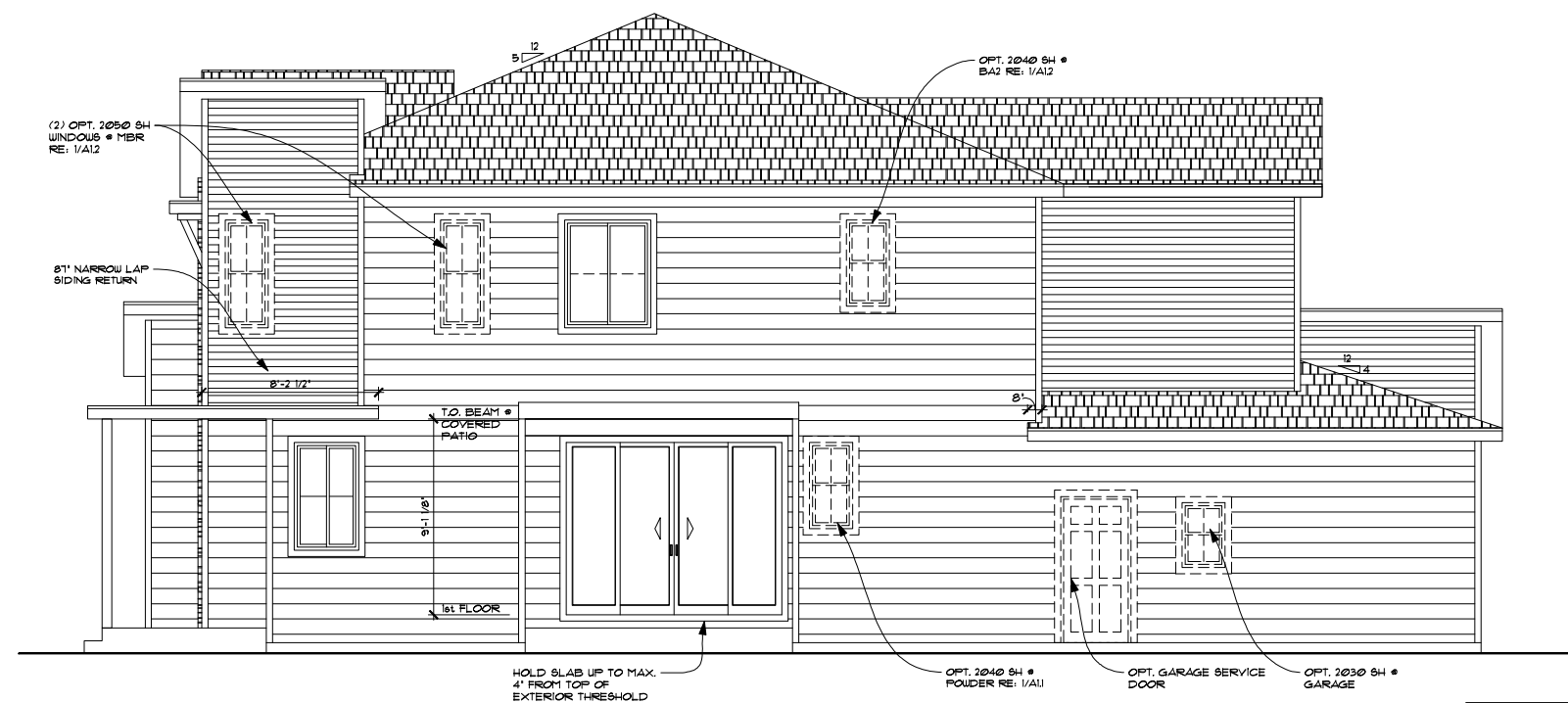
PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE
OF COLORADO
SHEET 17 OF 18



5 REAR ELEVATION B - D770
SCALE: 1/4"=1'-0" RE: 1/4"22 FOR ADDITIONAL NOTES & DIMENSIONS

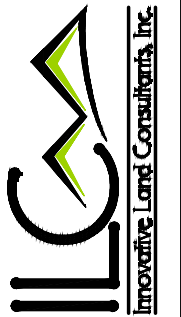
4 REAR ELEVATION B - D769
SCALE: 1/4"=1'-0" RE: 1/4"22 FOR ADDITIONAL NOTES & DIMENSIONS



6 RIGHT ELEVATION B - D770
SCALE: 1/4"=1'-0" RE: 1/4"22 FOR ADDITIONAL NOTES & DIMENSIONS

NOTE:
ENHANCED LOTS ARE REQUIRED FOR LOTS WHICH FACE A STREET, PARK OR OPEN SPACE.

- ENHANCED LOT ELEVATIONS TO INCLUDE:**
- LEFT SIDE ELEVATION (D769) - WINDOWS AT MASTER BEDROOM, WINDOW AT GARAGE, GARAGE SERVICE DOOR
 - REAR ELEVATION - WINDOW AT MASTER BATH
 - RIGHT SIDE ELEVATION (D770) - WINDOW AT BATH 2, WINDOWS AT MASTER BEDROOM, WINDOW AT POWDER, WINDOW AT GARAGE



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com

Copperleaf Filing No. 27
Arapahoe County, Colorado
Final Development Plan
ARCHITECTURAL ELEVATIONS

Proj. Name: Location: Arapahoe County, Colorado
Date: 11-05-2021
Plan Set: Final Development Plan
Sheet Name: ARCHITECTURAL ELEVATIONS

Job No.:
Approved By:
Designed By:
Horiz. Scale:
Sheet:

Client:
Richmond American Homes of Colorado, Inc.

Address:
4350 South Monaco Street
Denver, CO 80237

Contact:
Eric Kubly
720-977-3862

Sheet 17

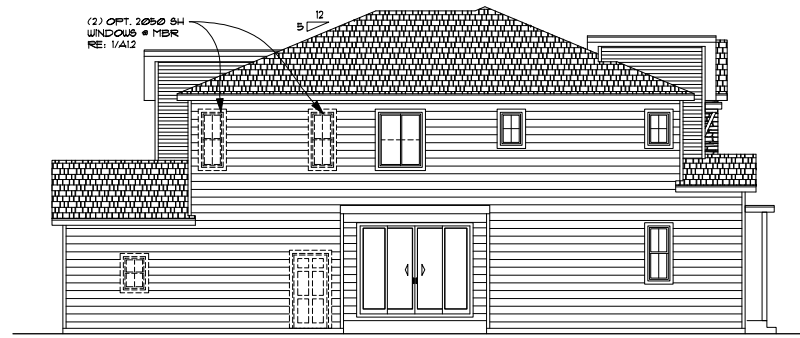


***NOT FOR CONSTRUCTION**

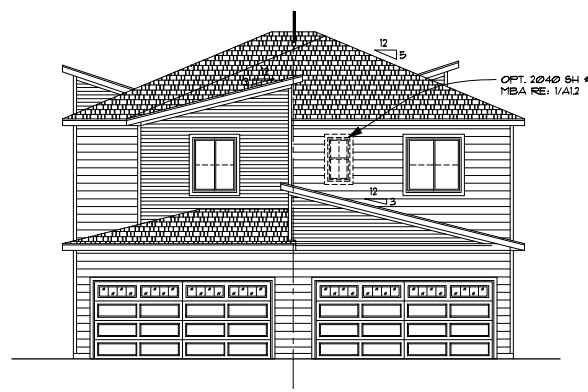
PART OF COPPERLEAF FILING NO. 27 FINAL DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 12, TOWNSHIP 5,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE

0
SHEET 18 OF 18



7 LEFT ELEVATION B - D769 W/ OPT. BR3
SCALE: 1/8"=1'-0"
FRONT ELEVATION DOES NOT CHANGE WITH THIS OPTION
RE: 1/A22 FOR ADDITIONAL NOTES & DIMENSIONS



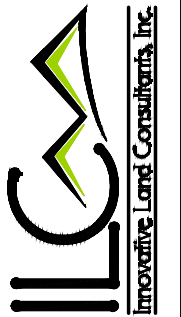
8 REAR ELEVATION B - D770/ D769 W/ OPT. BR3 @ D769
SCALE: 1/8"=1'-0"
FRONT ELEVATION DOES NOT CHANGE WITH THIS OPTION
RE: 1/A22 FOR ADDITIONAL NOTES & DIMENSIONS



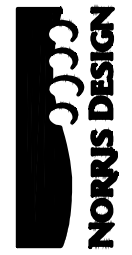
9 RIGHT ELEVATION B - D770 W/ OPT. BR3 @ D769
SCALE: 1/8"=1'-0"
FRONT ELEVATION DOES NOT CHANGE WITH THIS OPTION
RE: 1/A22 FOR ADDITIONAL NOTES & DIMENSIONS



*NOT FOR CONSTRUCTION



12071 Tejon Street, Suite 470
Westminster, CO 80234
303.421.4224
www.innovativelandinc.com



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com

Copperleaf Filing No. 27
Arapahoe County, Colorado
Final Development Plan
ARCHITECTURAL ELEVATIONS

Proj Name: Location: Plan Set: Sheet Name:
Date: 11-05-2021

Job No.:
Approved By:
Designed By:
Horiz. Scale:
Sheet:

Client:
Richmond American
Homes of Colorado,
Inc.

Address:
4350 South Monaco
Street
Denver, CO 80237

Contact:
Eric Kubly
720-977-3862
Sheet 18

R:\Colorado\Denver Division\East Point (Commerce City)_West Prairie Farm\East Point Duplexes D769 - Boston_D770 - Chicago\Prarie Farm D769 - Boston_D770 - Chicago Elevations.dwg, 11/27/2018 2:41:04 PM, midass