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NEW HORIZON ACADEMY AT COPPERLEAF
USE BY SPECIAL REVIEW
LOT 5, BLOCK 1, COPPERLEAF FILING NO. 25
PART OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
COUNTY OF ARAPAHOE, STATE OF COLORADO

STANDARD NOTES

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDER(S) OF THE USE BY SPECIAL REVIEW PLAN KNOWN AS NEW HORIZON ACADEMY AT COPPERLEAF, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAT/PLAN WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/ RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

EMERGENCY ACCESS NOTE

EMERGENCY ACCESS IS GRANTED HEREWITH OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE

THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS, AND EASEMENTS, I.E.: CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

PRIVATE STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAT/PLAN ARE NOT IN CONFORMANCE WITH ARAPAHOE COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH THE SUBDIVISION STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION. THE OWNERS, DEVELOPERS, AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE LIABILITY

IT IS THE POLICY OF ARAPAHOE COUNTY THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY SEH INC. ARAPAHOE COUNTY REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 30, ARTICLE 28, BUT CANNOT, ON BEHALF OF STAAK DEVELOPERS, INC., A COLORADO CORPORATION GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE STAAK DEVELOPERS, INC., A COLORADO CORPORATION AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF ARAPAHOE COUNTY THAT APPROVAL OF THE FINAL PLAT AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF SEH INC.'S DRAINAGE DESIGN.

LANDSCAPE MAINTENANCE

THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

SIGHT TRIANGLE MAINTENANCE

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

PUBLIC IMPROVEMENTS NOTE

AFTER FINAL DEVELOPMENT PLAN/FINAL PLAT APPROVAL, ISSUANCE OF INDIVIDUAL BUILDING PERMITS WILL BE SUBJECT TO THE FOLLOWING STIPULATIONS AND/OR CONDITIONS PRECEDENT, WHICH OWNER AGREES TO IN CONJUNCTION WITH APPROVAL OF THE FINAL DEVELOPMENT PLAN AND/OR FINAL PLAT. SUCH BUILDING PERMITS WILL BE ISSUED ONLY AFTER THE OWNERS GUARANTEE PUBLIC IMPROVEMENTS IN A FORM ACCEPTABLE TO THE BOARD OF COUNTY COMMISSIONERS PURSUANT TO STATE STATUTE.

DRAINAGE MASTER PLAN NOTE

THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:

- DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE III DRAINAGE REPORT AND PLAN.
- DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGEWAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
- EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGEWAY PLANS (SECTION 3.4 OF THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL) OR AS REQUIRED BY THE COUNTY AND DESIGNATED IN THE PHASE III DRAINAGE REPORT.

SPECIFIC NOTES

REGIONAL TRANSPORTATION IMPROVEMENT FEE (RTIF) AREA

THIS USE BY SPECIAL REVIEW PLAN IS LOCATED WITHIN AN AREA THAT HAS BEEN IDENTIFIED AS DEFICIENT IN REGIONAL INFRASTRUCTURE IMPROVEMENTS, PRIMARILY REGIONAL TRANSPORTATION INFRASTRUCTURE. THE BOARD OF COUNTY COMMISSIONERS HAS ADOPTED RESOLUTION 375-95A, WHICH REQUIRES FEES, PURSUANT TO THE FEE SCHEDULE ADOPTED BY THIS RESOLUTION, TO BE CHARGED BY THE BUILDING DIVISION, AND COLLECTED UPON THE ISSUANCE OF ALL BUILDING PERMITS FOR NEW CONSTRUCTION WITHIN THE REGION BOUNDARIES. THE FEES, THE REGION BOUNDARIES, THE REGIONAL TRANSPORTATION INFRASTRUCTURE PROPOSED TO BE FUNDED BY THE FEES, AND OTHER PERTINENT PORTIONS OF THE FEE SCHEDULE MAY BE FURTHER STUDIED AND AMENDED FROM TIME TO TIME, AS NEEDED TO ENSURE A FAIR BALANCED SYSTEM.

AIRPORT INFLUENCE AREA (AVIATION EASEMENT/HAZARD EASEMENT)

AN AVIGATION AND HAZARD EASEMENT AFFECTING ALL PROPERTY CONTAINED WITHIN THIS USE BY SPECIAL REVIEW PLAN HAS BEEN LEGALLY EXECUTED. SAID EASEMENT DOCUMENT CAN BE FOUND IN RECEPTION NUMBER B4182079 OF THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER.

THE LANDS CONTAINED WITHIN THIS USE BY SPECIAL REVIEW PLAN LIE WITHIN THE AIRPORT INFLUENCE AREA, AN AREA WHICH IS LIKELY TO BE AFFECTED BY AIRCRAFT OPERATIONS AND THEIR POTENTIAL NOISE AND/OR CRASH HAZARDS TO A GREATER DEGREE THAN LANDS SITUATED OUTSIDE OF THE INFLUENCE AREA.

ALL LANDS CONTAINED WITHIN THIS USE BY SPECIAL REVIEW PLAN SHALL COMPLY WITH F.A.R. PART 77, "HEIGHT AND OBSTRUCTIONS CRITERIA".

AIRPORT INFLUENCE AREA (OFF-SITE IMPROVEMENTS)

TO CARRY OUT ONE OR MORE OF THE FOLLOWING AS MAY BE REQUIRED BY THE BOARD OF COUNTY COMMISSIONERS, OWNERS, SUCCESSORS AND ASSIGNS HEREBY AGREE:

- TO INCLUDE SAID DEVELOPMENT WITHIN A SPECIAL DISTRICT FOR THE PURPOSE OF PARTICIPATION IN THE CONSTRUCTION OF NECESSARY OFF-SITE IMPROVEMENTS AT THE TIME OF APPROVAL OF FINAL PLANS.
- TO COOPERATE WITH OTHER OWNERS OF OTHER PARCELS AND/OR OTHER SPECIAL DISTRICTS IN OFF-SITE ROADWAY IMPROVEMENTS AS NECESSITATED BY THE DEVELOPMENT IMPACTS AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- TO COMPLETE SUCH OTHER IMPROVEMENTS TO PUBLIC ROADWAYS BROUGHT ABOUT OR IMPACTED BY THIS DEVELOPMENT AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- TO PARTICIPATE AND COOPERATE IN ANY TRANSPORTATION MANAGEMENT PROGRAM AS SPECIFIED IN THE AIRPORT INFLUENCE AREA TRANSPORTATION STUDY, IF SUCH A PROGRAM IS APPROVED AND/OR ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS.

STREET LIGHTING

ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PLAN OR PLAT, TOGETHER WITH RATES, RULES, AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNER OR OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE PLAN OR PLAT ACCORDING TO APPLICABLE RATES, RULES, AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO.

DRAINAGE

ALL DRAINAGE, DETENTION POND AND STORM SEWER EASEMENTS SHOWN HEREON BURDEN AND RUN WITH ALL LANDS DESCRIBED IN THIS PLAT TO THE BENEFIT OF ARAPAHOE COUNTY AND ITS ASSIGNS, AND ARE BINDING UPON THE OWNERS AND THEIR RESPECTIVE SUCCESSORS, HEIRS AND ASSIGNS. THE EASEMENTS ARE GOVERNED BY THE TERMS AND CONDITIONS OF ARAPAHOE COUNTY'S STORMWATER AND DRAINAGE REGULATIONS AND STANDARDS AND ALL TERMS AND CONDITIONS OF RECORD, INCLUDING THOSE RECORDED ON JUNE 5, 1997, AT RECEPTION NUMBER A7066570, AS THOSE REGULATIONS, STANDARDS, TERMS AND CONDITIONS THAT EXIST AT THE TIME OF COUNTY APPROVAL OF THIS DOCUMENT AND AS THEY MAY BE AMENDED FROM TIME TO TIME.

PUBLIC USE EASEMENT

ALL PUBLIC USE EASEMENTS SHOWN HEREON BURDEN AND RUN WITH ALL LANDS DESCRIBED IN THIS PLAT TO THE BENEFIT OF ARAPAHOE COUNTY AND ITS ASSIGNS, AND ARE BINDING UPON THE OWNERS AND THEIR RESPECTIVE SUCCESSORS, HEIRS AND ASSIGNS. THE PUBLIC USE EASEMENTS ARE GOVERNED BY THE TERMS AND CONDITIONS OF ARAPAHOE COUNTY'S EASEMENT REGULATIONS AND STANDARDS AND ALL TERMS AND CONDITIONS OF RECORD, IF ANY, AS THOSE REGULATIONS, STANDARDS, TERMS AND CONDITIONS THAT EXIST AT THE TIME OF COUNTY APPROVAL OF THIS DOCUMENT AND AS THEY MAY BE AMENDED FROM TIME TO TIME.



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NEW HORIZON ACADEMY
LOT 5, BLOCK 1, COPPERLEAF FILING NO. 25
ARAPAHOE, CO

SEH Project NHOC 151271
Checked By DRH
Drawn By AMP

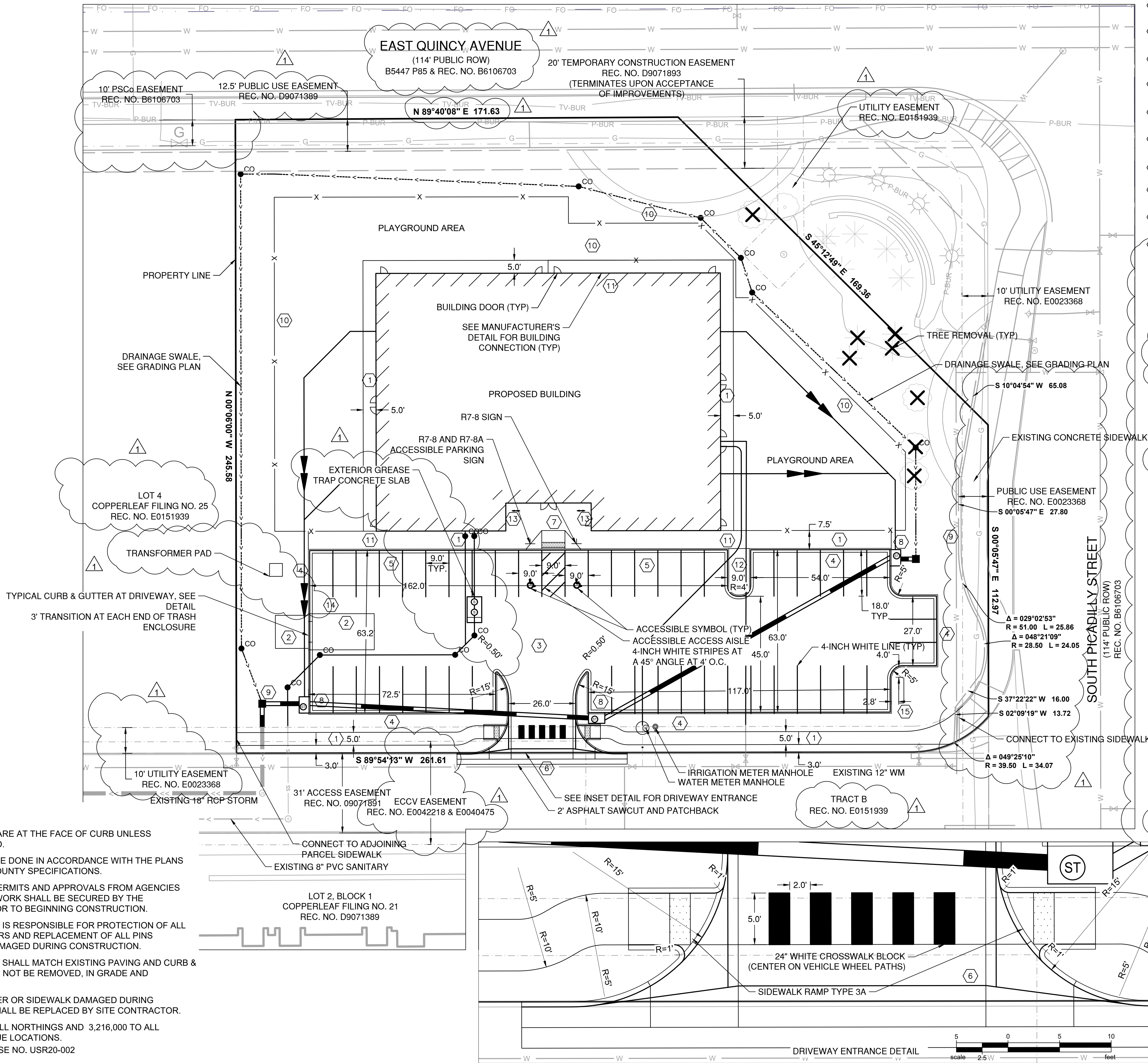
Project Status Issue Date
COUNTY REVIEW 11/02/2020
COUNTY REVIEW 1/08/2021
-

Revision Issue		
Rev. #	Description	Date
1	COUNTY COMMENTS	1/6/2021
2	COUNTY COMMENTS	2/26/2021

GENERAL NOTES

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COUNTY OF ARAPAHOE, STATE OF COLORADO



- KEY NOTES
- 1 CONCRETE SIDEWALK (SEE PLAN FOR WIDTH)
 - 2 CONCRETE DUMPSTER PAD
 - 3 ASPHALT PARKING LOT
 - 4 VERTICAL CURB & GUTTER (WIDTH TO BE 18" WITH 1" DEPTH)
 - 5 MEDIAN CURB & GUTTER (SPILL)
 - 6 CROSSPANS TYPE 1 (WIDTH TO BE 8')
 - 7 CURB RAMP TYPE 1A
 - 8 5' TYPE R INLET
 - 9 TYPE C INLET
 - 10 PLAYGROUND FENCE
 - 11 PLAYGROUND FENCE GATE WITH PANIC HARDWARE AND SELF-CLOSING HINGES, SEE MANUFACTURER'S DETAIL
 - 12 LANDSCAPE AREA, SEE SHEET 6
 - 13 BIKE RACK, SEE DETAIL SHEET 6
 - 14 CONCRETE DUMPSTER PAD AND ENCLOSURE, SEE SHEET 8
 - 15 MONUMENT SIGN, SEE SHEET 10

SITE DATA TABLE		
SITE AREA	AREA	PERCENT
GROSS SITE AREA	64,462 SF / 1.479 AC	100.00%
BLDG. COVERAGE	12,987 SF / 0.29 AC	20.00%
SIDEWALKS AND PAVEMENT	16,809 SF / 0.39 AC	26.00%
PARKING AREA	7,614 SF / 0.17 AC	12.00%
PARKING ISLANDS	778 SF / 0.02 AC	1.00%
LANDSCAPING	20,188 SF / 0.46 AC	31.00%
PLAYGROUND	8,986 SF / 0.21 AC	14.00%

OPEN SPACE - COPPERLEAF PDP TOWNCENTER 2		
	STANDARD	PROPOSED
MINIMUM OPEN SPACE	20%	31%

BUILDING STANDARDS - COPPERLEAF PDP TOWNCENTER 2		
	STANDARD	PROPOSED
BUILDING HEIGHT (MAX)	50'-0"	22'-3"

SETBACKS - COPPERLEAF PDP TOWNCENTER 2		
	STANDARD	PROPOSED
COPPERLEAF BUILDING	40-FEET	40-FEET
COPPERLEAF PARKING	15-FEET	15-FEET
ADJACENT TO DRIVES AND LOTS	10-FEET	10-FEET
ADJACENT TO PUD	10-FEET	10-FEET

PARKING - 2019 LDC - DAYCARE		
STANDARD	1 SPACE / 250 SF BUILDING REQUESTED 10% REDUCTION	52 SPACES (-) 5.2 SPACES
		47 SPACES REQUIRED
PROVIDED	STANDARD (18.0' X 9.0') ACCESSIBLE (18.0' X 9.0')	45 2
	TOTAL	47
	1 ISLAND REQUIRED/ 40 SPACES	3 ISLANDS PROVIDED

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1	COUNTY COMMENTS	1/6/2021
2	COUNTY COMMENTS	2/26/2021

SHEET 3 OF 10

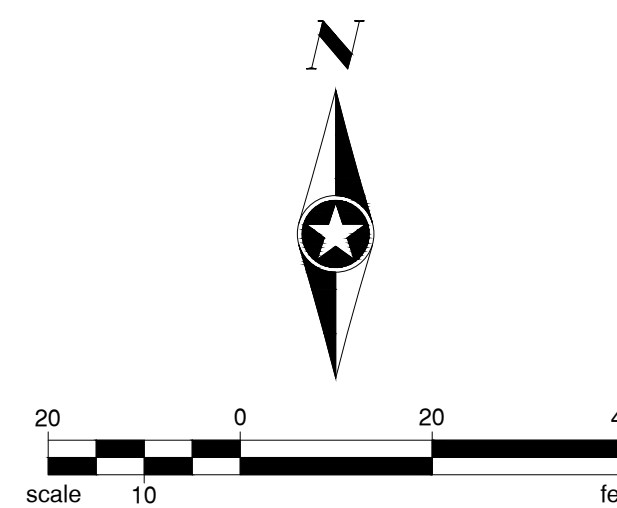
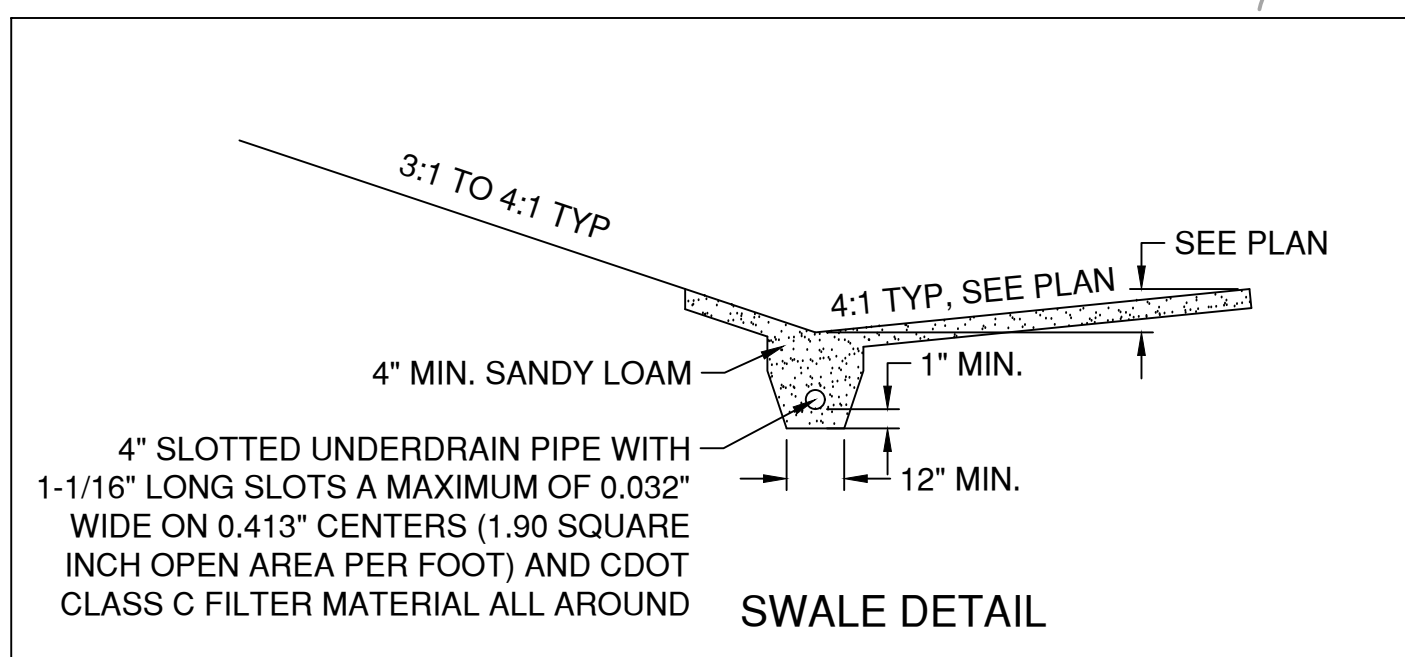
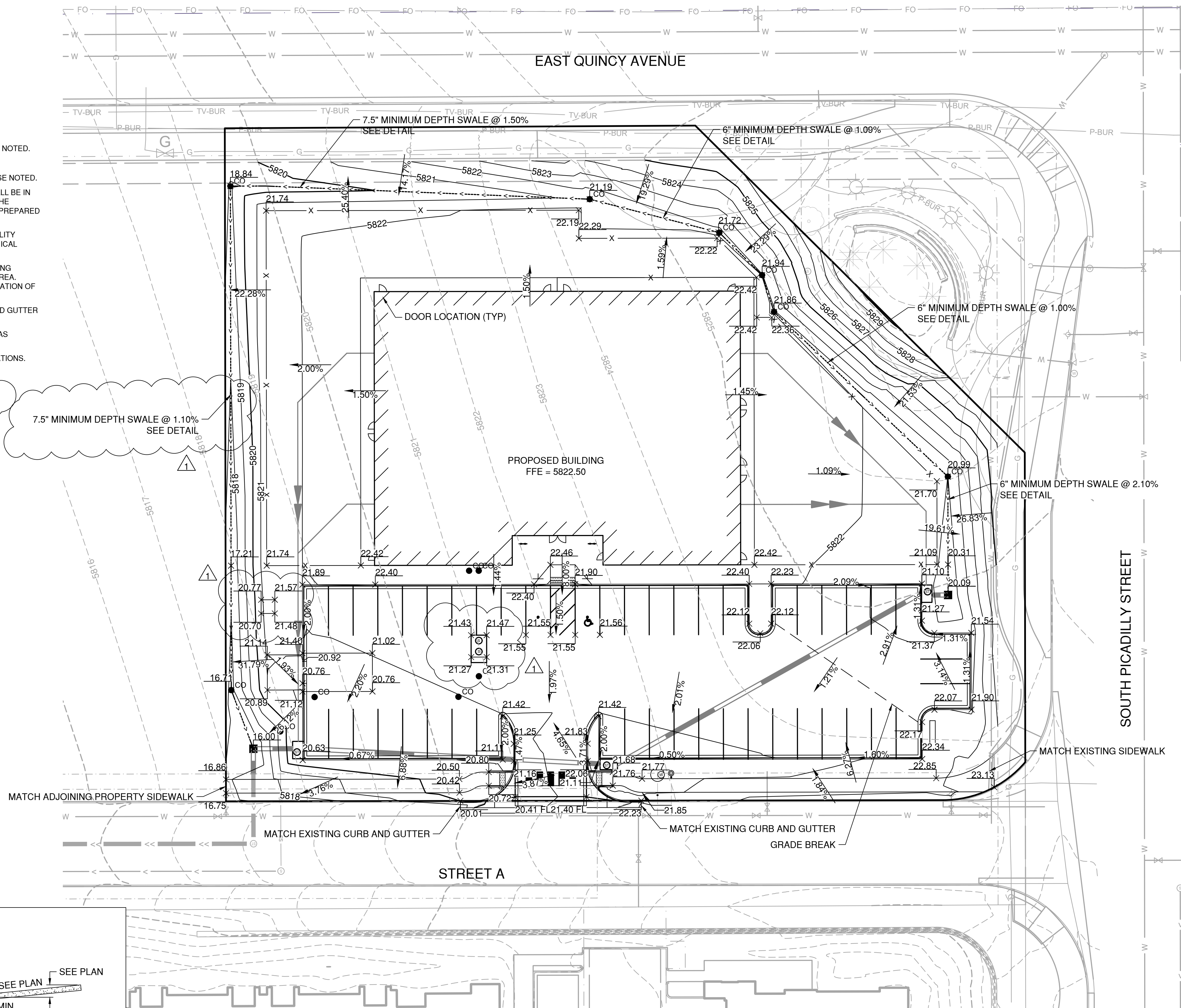
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USE BY SPECIAL REVIEW**

LOT 5, BLOCK 1, COPPERLEAF FILING NO. 25

PART OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
COUNTY OF ARAPAHOE, STATE OF COLORADO

GENERAL GRADING NOTES

1. EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
2. GRADES SHOWN ARE FINISHED GRADES UNLESS OTHERWISE NOTED.
3. ADD 5800 TO SPOT ELEVATIONS FOR TRUE ELEVATION.
4. CURB ELEVATIONS ARE AT BACK OF CURB UNLESS OTHERWISE NOTED.
5. AT A MINIMUM, ALL EARTHWORK AND SITE PREPARATION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR PROJECT 20.111 PREPARED BY CESARE, INC..
6. CONTRACTOR SHALL CONDUCT SAMPLING AND TESTING QUALITY CONTROL PER THE PLANS AND THE REFERENCED GEOTECHNICAL ENGINEERING REPORT RECOMMENDATIONS.
7. PRIOR TO BEGINNING ANY EXCAVATION OR FILL, STRIP EXISTING TOPSOIL AND STOCKPILE OUTSIDE OF THE CONSTRUCTION AREA. REASONABLE CARE SHALL BE TAKEN TO PREVENT CONTAMINATION OF THE TOPSOIL.
8. DESIGNATION/LOCATIONS OF OUTFALL AND INFLOW CURB AND GUTTER ARE SHOWN ON SHEET C1.0.
9. MATCH ALL DOORWAYS WITH SIDEWALK. PROVIDE WARPING AS REQUIRED TO BLEND GRADES.
10. SEE SHEETS C4.0 FOR PROPOSED STORM STRUCTURE ELEVATIONS.
11. ALL RAMPS AND WALKS TO BE INSTALLED PER CURRENT ADA REQUIREMENTS.
12. SEE SHEET 3 FOR EASEMENT RECORDATION INFORMATION.



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SEH Project	NHOAC 15127	
Checked By	DR	
Drawn By	AM	
Project Status	Issue Date	
COUNTY REVIEW	11/02/2020	
COUNTY REVIEW	1/08/2021	
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Revision Issue		
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1	COUNTY COMMENTS	1/6/2021

GRADING PLAN

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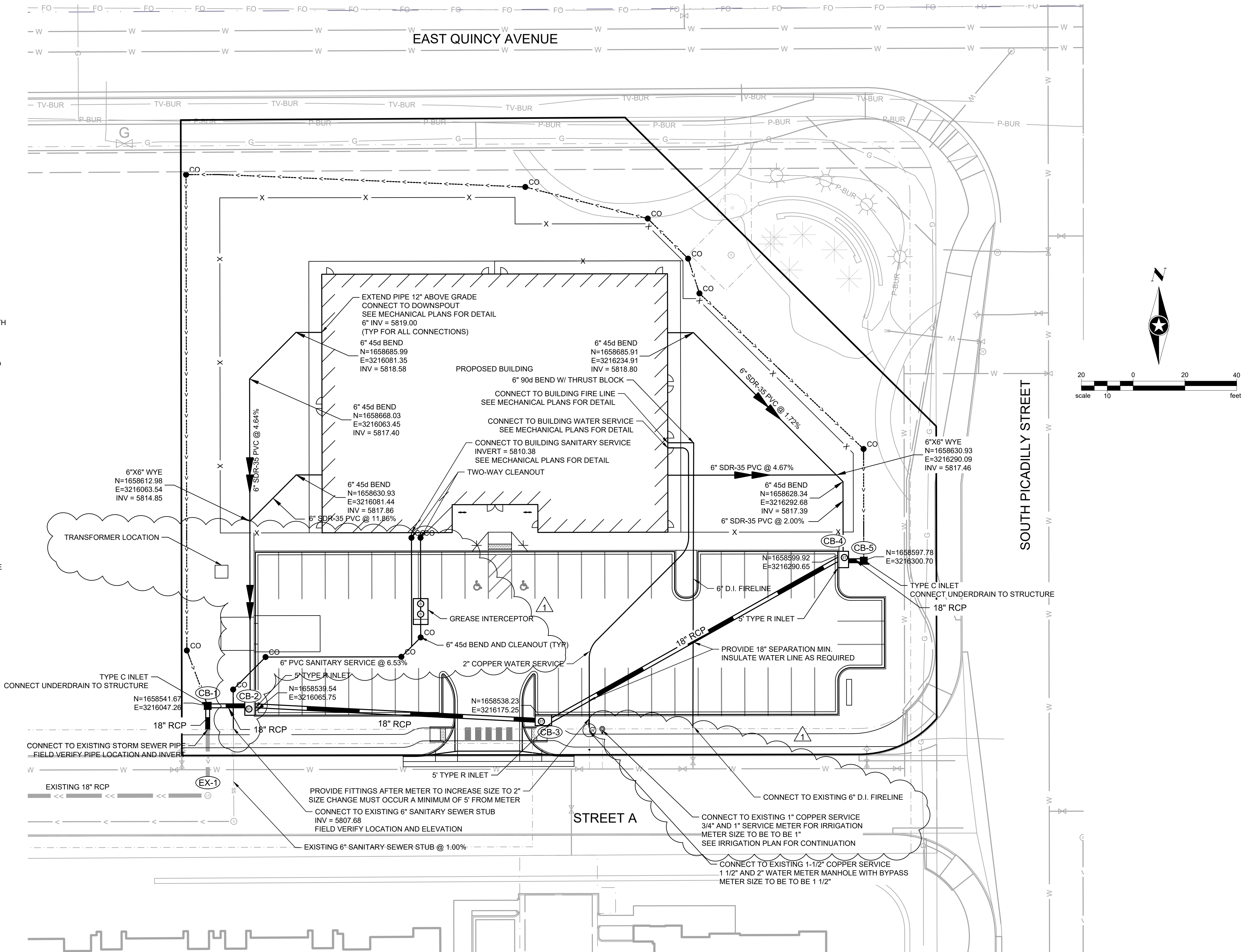
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GENERAL UTILITY NOTES

1. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE EAST CHERRY CREEK WATER AND SANITATION DISTRICT STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS THROUGH THE COLORADO ONE CALL SERVICE PRIOR TO CONSTRUCTION.
3. CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
4. ANY DEVIATIONS FROM THE LOCATIONS SHOWN ON THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO COORDINATE WITH PRIVATE UTILITY PROVIDERS (CABLE TELEVISION, TELEPHONE, GAS, ELECTRIC) REGARDING ROUTING AND SLEEVE REQUIREMENTS PRIOR TO CONSTRUCTION.
6. REFER TO ELECTRICAL DRAWINGS FOR ALL ON-SITE ELECTRICAL LINE ROUTING.
7. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL COMPLETION.
8. ALL NEW UNDERGROUND FACILITIES, INCLUDING LATERALS UP TO THE BUILDING BEING SERVED, MUST BE ELECTRONICALLY LOCATABLE WHEN INSTALLED.
9. SEE SHEET 3 FOR EASEMENT RECORDATION INFORMATION.

STORM SEWER GENERAL NOTES

1. CATCH BASIN COORDINATES ARE SHOWN AT THE STATION POINT DESIGNATED ON THE DETAIL.
2. TO ELEVATION FOR INLETS ARE AT THE CENTER OF THE MANHOLE CASTING
3. MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN POTABLE WATERLINE AND STORM SEWER LINES.
4. SEE CONSTRUCTION DRAWINGS FOR STORM SEWER PROFILES AND ELEVATIONS
5. PER SENATE BILL 18-157 SECTION 2 (10) ALL NEW UNDERGROUND FACILITIES, INCLUDING LATERALS UP TO THE STRUCTURE OR BUILDING BEING SERVED MUST BE ELECTRONICALLY LOCATABLE WHEN INSTALLED.



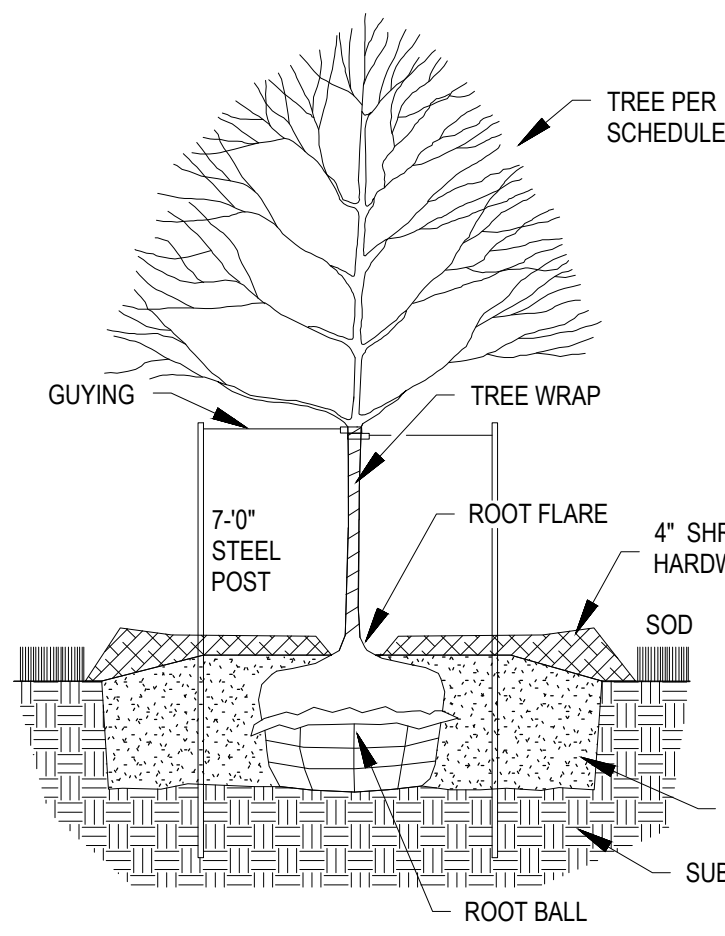
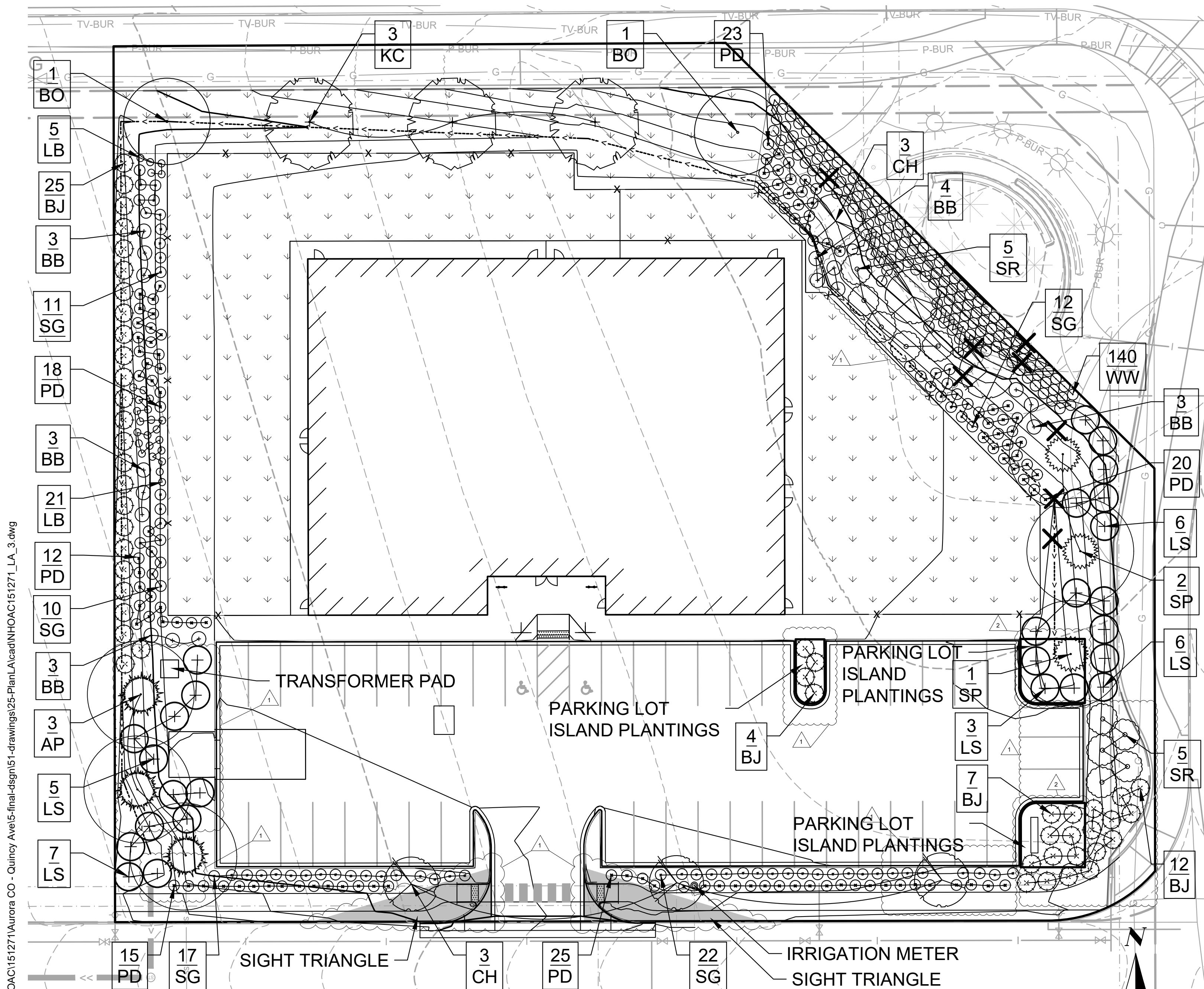
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Rev. #	Description	Date
1	COUNTY COMMENTS	1/8/2021

NEW HORIZON ACADEMY AT COPPERLEAF
ADMINISTRATIVE SITE PLAN

LOT 5, BLOCK 1, COPPERLEAF FILING NO. 25

PART OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
COUNTY OF ARAPAHOE, STATE OF COLORADO

NOTES:

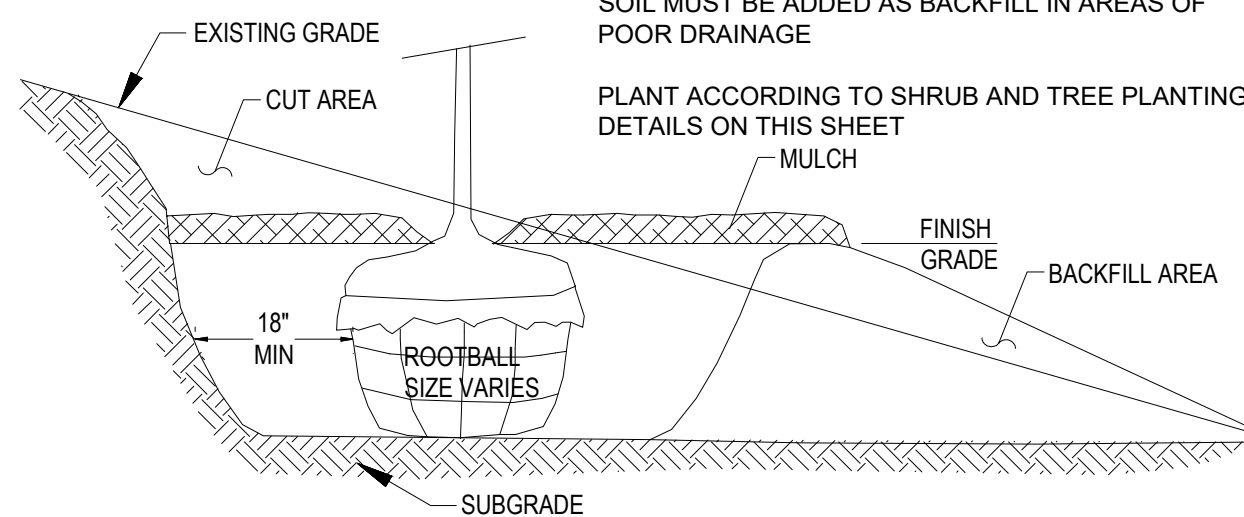
1. REMOVE DEAD OR DAMAGED BRANCHES. RETAIN THE NATURAL FORM OF THE TREE. DO NOT CUT THE LEADER.
2. WIDTH OF PLANTING HOLES: 18" MIN. LARGER THAN ROOT BALL, ON ALL SIDES.
3. DEPTH OF HOLE: ROOT FLARE TO SIT AT OR UP TO 2" ABOVE THE TOP OF THE FINISHED SOIL ELEVATION. LEAVE SOIL UNDISTURBED BENEATH THE ROOT BALL.
4. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
5. SET PLANT ON UNDISTURBED SOIL OR THOROUGHLY COMPACTED PLANTING SOIL.
6. REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. COMPLETELY REMOVE ALL BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
7. SLIT REMAINING BURLAP AT 6" INTERVALS.
8. PLUMB & BACKFILL WITH PLANTING SOIL. THOROUGHLY WATER IN TREE WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
9. BACKFILL VOIDS AND WATER A SECOND TIME.
10. PLACE 4" MULCH WITHIN 48 HOURS OF THE SECOND WATERING. NO MULCH TO BE IN CONTACT W/ TRUNK.
11. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. STAKE TREES IF SITE CONDITIONS, SUCH AS SOIL AND WIND, PREVENT THE TREES FROM STAYING PLUMB. USE 16" LONG, 1 5/8" WIDE STRAPS, SEE SPECS. ATTACH TO POST WITH WIRE SEE SPECS. INSTALL POST 3' INTO GROUND. REMOVE WITHIN ONE YEAR.
12. WRAP TRUNK IN FALL REMOVE IN SPRING.
13. REFER TO SPECS. FOR PRODUCTS AND OTHER INFORMATION.

2 TREE PLANTING DETAIL

NOT TO SCALE

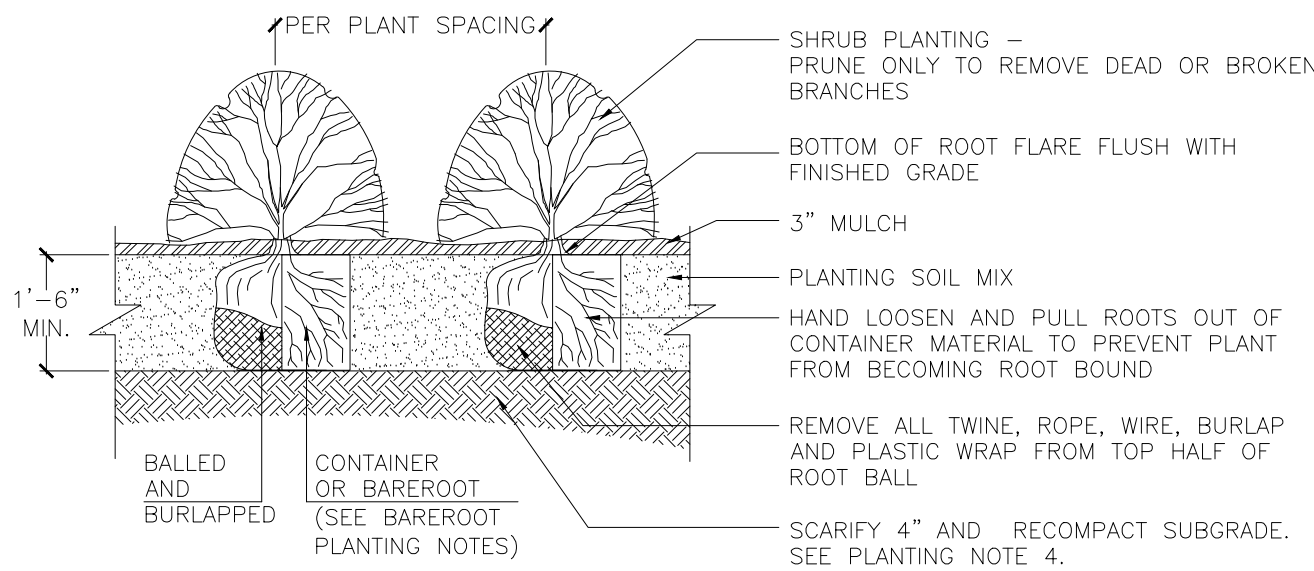
NOTES:

1. EXTEND EXCAVATION AND BACKFILL SOIL TO A POINT DOWNSLOPE EQUAL TO OR LOWER IN ELEVATION THAN THE BOTTOM OF THE HOLE DIRECTLY BENEATH THE PLANT TO INSURE ADEQUATE DRAINAGE IN HEAVY SOIL. GRANULAR SOIL MUST BE ADDED AS BACKFILL IN AREAS OF POOR DRAINAGE.



3 PLANTING ON A SLOPE DETAIL

NOT TO SCALE



4 SHRUB PLANTING DETAIL

NOT TO SCALE

LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE CONTRACTOR. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MINIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE, THE CONTRACTOR, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANTS (S) WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE.

TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
TREE-DECIDUOUS	INCREASE CALIPER BY 1"	INCREASE CALIPER BY 1.5"
TREE-CONIFEROUS	INCREASE CALIPER BY 1"	INCREASE CALIPER BY 1.5"
SHRUB	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE

IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF. MADE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE. HAND EXCAVATION ONLY WHEN UTILITIES ARE UNDER PROPOSED PLANTINGS

NOTE:

- ALL UTILITY EASEMENT SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT ENTRY.
- THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN, PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY.
- ALL LANDSCAPED AREAS AND PLANT MATERIAL, EXCEPT FOR NON-IRRIGATED NATIVE, RESTORATIVE, AND DRYLAND GRASS AREAS THAT COMPLY WITH REQUIREMENTS FOUND IN SEC. 146-1429 AND/OR SEC. 146-1435 MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO REQUIREMENTS FOUND IN THE CITY OF AURORA IRRIGATION ORDINANCE.

LANDSCAPE SPECIFICATIONS

TREES, SHRUBS, AND PERENNIALS

1. REFERENCES
 - A. CDOT - COLORADO DEPARTMENT OF TRANSPORTATION, 2017 EDITION.
 - B. AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014.
2. QUALITY ASSURANCE
 - A. WORK SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR WITH EXTENSIVE HORTICULTURE KNOWLEDGE, AND A MIN. OF 3 YEARS EXPERIENCE.
 - B. HANDLE PLANTS IN SUCH A WAY AS TO PROTECT FROM DAMAGE EITHER PHYSICAL OR BY EXPOSURE TO SUN AND WIND. MISHANDLED PLANTS ARE SUBJECT TO REJECTION BY LANDSCAPE ARCHITECT.
 - C. PLANTS USED ON THIS PROJECT SHALL MEET THE GRADING STANDARDS RECOMMENDED BY THE ANSI Z60.1-2014.
3. PRODUCTS
 - A. PLANTS: PROVIDE AS SPECIFIED ON PLANT SCHEDULE.
 - B. EDGING: RYERSON STEEL EDGING 3/8" X 5" W/ 18" STAKES, OR EQUAL.
 - C. MULCH: SHREDDED HARDWOOD MULCH, COLOR: COCOA BROWN.
 - D. WATER: CONTRACTOR TO PROVIDE.
 - E. PLANTING SOIL MIX: RICH SANDY LOAM, FREE OF DEBRIS AND SEEDS, AND CONFORMING TO CDOT 207 (TOPSOIL).
 - F. SOIL AMENDMENTS: CONFORMING TO CDOT 212 (SEEDING), FERTILIZER, SOIL CONDITIONS AND SODDING).
 - G. TREE WRAP: TWO-PLY WEATHER RESISTANT PAPER PRODUCT.

4. PLANTING DATES: SPRING PLANTING: APR. 1- JUNE 15. THESE DATES MAY BE EXTENDED IF DAYTIME TEMPS. REMAIN BELOW 80 DEGREES. FALL: SEPT. 30 - OCT. 30TH. DAYTIME TEMPS. NEED TO DROP BELOW 80 DEGREES BEFORE PLANTING BEGINS, AND MAY CONTINUE UNTIL FREEZE UP. CONIFEROUS TREES AUG. 15- OCT. 1ST. PLANT UNDER FAVORABLE WEATHER CONDITIONS, DO NO PLANT DURING DAYS OF EXTREME HEAT.

5. EXECUTION
 - A. PLANT INTO PREPARED PLANTING BEDS.
 - B. PRIOR TO DIGGING, CONTRACTOR TO HAVE UTILITIES LOCATED AND MARKED.
 - C. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT 3 DAYS IN ADVANCE OF WHEN PLANTING WORK WILL OCCUR.
 - D. INSTALL TREES, SHRUBS, AND PERENNIALS PER PLANTING DETAILS, ADJUST LOCATION IF IN CONFLICT WITH UTILITIES. VERIFY NEW LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO PLANTING.
 - E. SEPARATE ALL SHRUB BEDS FROM SOD AREAS WITH METAL EDGER.
 - F. CLEAN-UP ENTIRE SITE FOLLOWING PLANTING OPERATIONS.

6. ACCEPTANCE OF PLANTING WORK
 - A. CONTRACTOR TO NOTIFY OWNER WHEN PLANTING WORK IS COMPLETE FOR REVIEW AND PUNCH LIST.
 - B. CONTRACTOR TO WATER AND MAINTAIN THE TREES, SHRUBS, AND PERENNIALS UNTIL OWNER ACCEPTANCE.
 - C. OWNER WILL GIVE ACCEPTANCE OF WORK, FOLLOWING SATISFACTORY CORRECTION OF PUNCH LIST ITEMS.
 - D. WATERING AND REGULAR LANDSCAPE MAINTENANCE OF TREES, SHRUBS, AND PERENNIALS WILL BE OWNERS RESPONSIBILITY FOLLOWING OWNER ACCEPTANCE OF WORK.

7. GUARANTEE PERIOD
 - A. CONTRACTOR TO WARRANTY TREES, SHRUBS, AND PERENNIALS FOR TWO YEARS FOLLOWING ACCEPTANCE OF WORK BY OWNER.
 - B. CONTRACTOR TO MAINTAIN THE TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.
 - C. CONTRACTOR TO REMOVE ALL STAKING/ WIRING/ STRAPS FROM TREES AT THE END OF THE GUARANTEE PERIOD.
 - D. REPLACEMENTS: AT THE END OF THE GUARANTEE PERIOD, ALL PLANTS WHICH ARE UNHEALTHY, DEAD, NOT HAVING A NORMAL DENSITY, SIZE, SHAPE OR COLOR SHALL BE REPLACED. REPLACEMENTS SHALL MATCH CALIPER AND/OR HEIGHT OF THE OTHER PLANTS AT TIME OF REPLACEMENT. SELECTION OF REPLACEMENT MATERIAL AND INSTALLATION PRACTICES SHALL FOLLOW THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.

8. IRRIGATION
 - A. CONFORM TO THE REQUIREMENTS OF CDOT 107.14 (INTERRUPTION OF IRRIGATION WATER FLOW), CDOT 623 (IRRIGATION SYSTEM) AND ALL OTHER APPLICABLE CDOT IRRIGATION MATERIALS AND CONSTRUCTION REQUIREMENTS.

NOTE:
SEE SHEET 3 FOR EASEMENT RECORDATION INFORMATION

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NEW HORIZON ACADEMY
LOT 5, BLOCK 1, COPPERLEAF FILING NO. 25
ARAPAHOE, CO

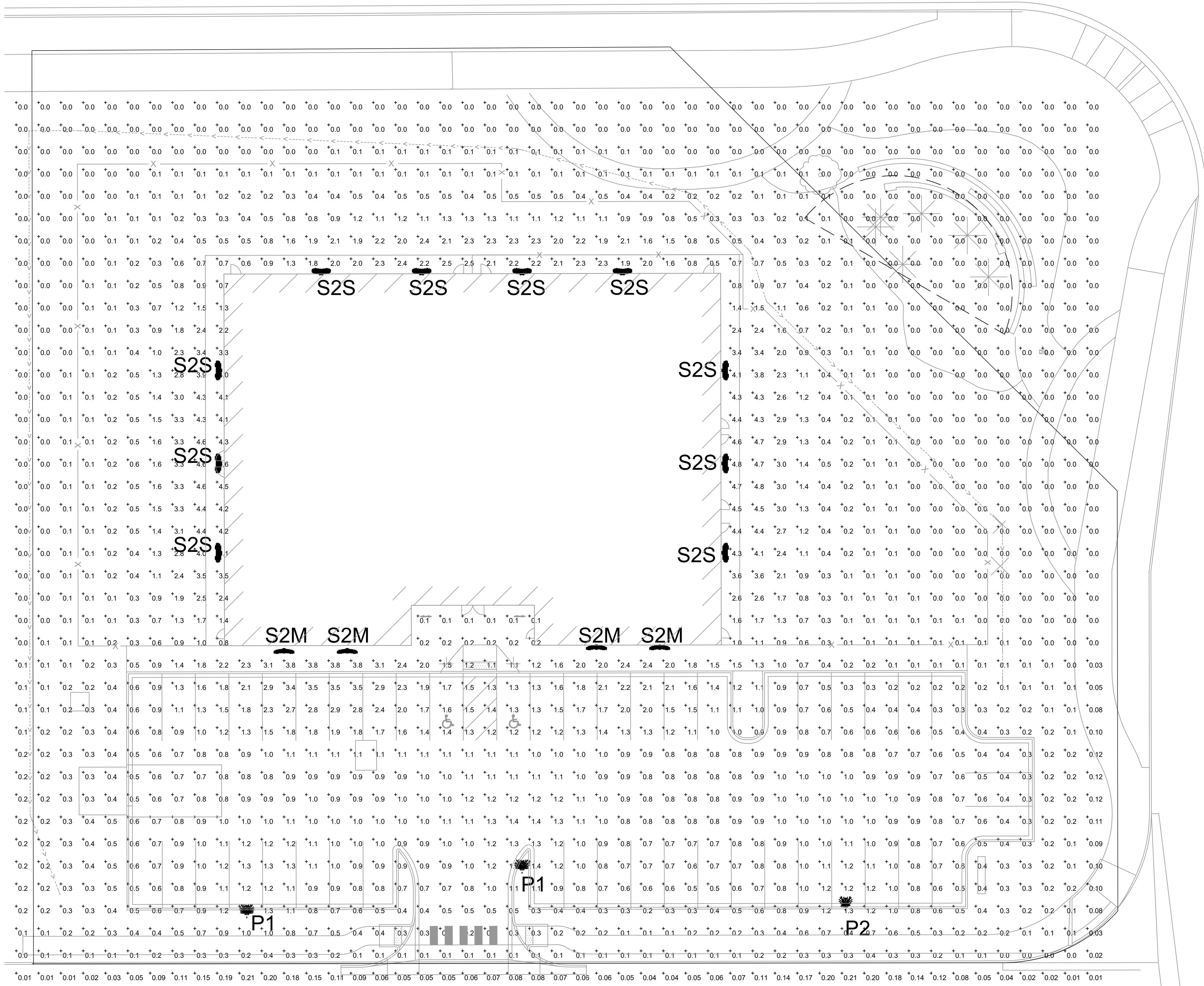
SEH Project: NHOC 151271
Checked By: KWRH
Drawn By: VSRP

Project Status: COUNTY REVIEW
Issue Date: 11/02/2020
COUNTY REVIEW: 10/08/2021

Revision Issue
Rev. # Description Date
1 USR Comments 01/08/2021
2 USR Comments 02/19/2021

LANDSCAPE PLAN

NEW HORIZON ACADEMY AT COPPERLEAF
USE BY SPECIAL REVIEW
LOT 5, BLOCK 1, COPPERLEAF FILING NO. 25
PART OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
COUNTY OF ARAPAHOE, STATE OF COLORADO



1

PHOTOMETRIC SITE PLAN

Scale: 1/16" = 1'-0"



TYPE	DESCRIPTION	WATTS	LUMENS	CATALOG #	MOUNTING
P1	POLE MOUNTED AREA LED LIGHT FIXTURE, 4000K, TYPE 4 MEDIUM DISTRIBUTION WITH HOUSE SIDE SHIELD			LITHONIA LIGHTING: DSX1-LED-P1-40K-T4M-HS	Pole: 25 Feet
	POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH	54	6800	POLE: LITHONIA LIGHTING RSS, DDBXD	
P2	POLE MOUNTED AREA LED LIGHT FIXTURE, 4000K, TYPE FORWARD THROW DISTRIBUTION WITH HOUSE SIDE SHIELD			LITHONIA LIGHTING: DSX1-LED-P1-40K-TFTM-HS	Pole: 25 Feet
	POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH	54	7000	POLE: LITHONIA LIGHTING RSS, DDBXD	
S2M	WALL MOUNTED AREA LIGHT FIXTURE, 4000K, TYPE 2 MEDIUM DISTRIBUTION.	26	2500	LITHONIA LIGHTING: DSXW1-LED-10C-700-40K-T2M	Wall: 12 Feet
S2S	WALL MOUNTED AREA LIGHT FIXTURE, 4000K, TYPE 2 SHORT DISTRIBUTION.	26	2600	LITHONIA LIGHTING: DSXW1-LED-10C-700-40K-T2S	Wall: 12 Feet

PHOTOMETRIC SITE PLAN GENERAL NOTES:

- A. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF.
- B. ALL EXTERIOR LIGHT FIXTURES WILL BE DIMMED PER THE REQUIREMENTS OF THE LDC.

PHOTOMETRIC SITE PLAN KEYED NOTES:

1. LOCATION OF UTILITY TRANSFORMER.
2. APPROXIMATE LOCATION OF EXISTING ELECTRICAL SWITCH CABINET LOCATED BEHIND MONUMENT SIGN. SHOWN FOR REFERENCE.

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ARAPAHOE, CO

SEH Project NHOAC 151271
Checked By DRH
Drawn By AMP
Project Status Issue Date
COUNTY REVIEW 11/02/2020
COUNTY REVIEW 1/08/2021

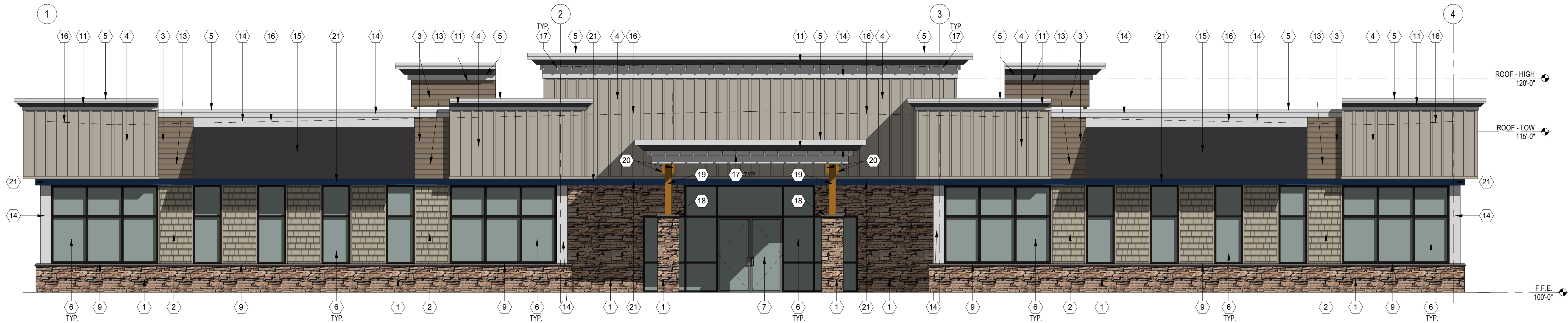
Revision Issue
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PHOTOMETRIC SITE PLAN

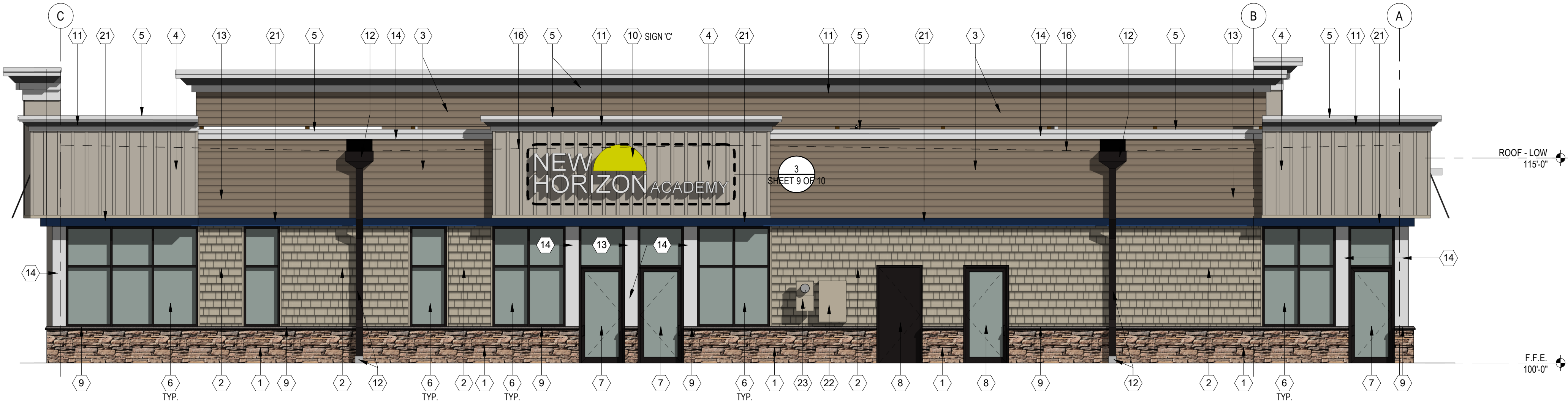
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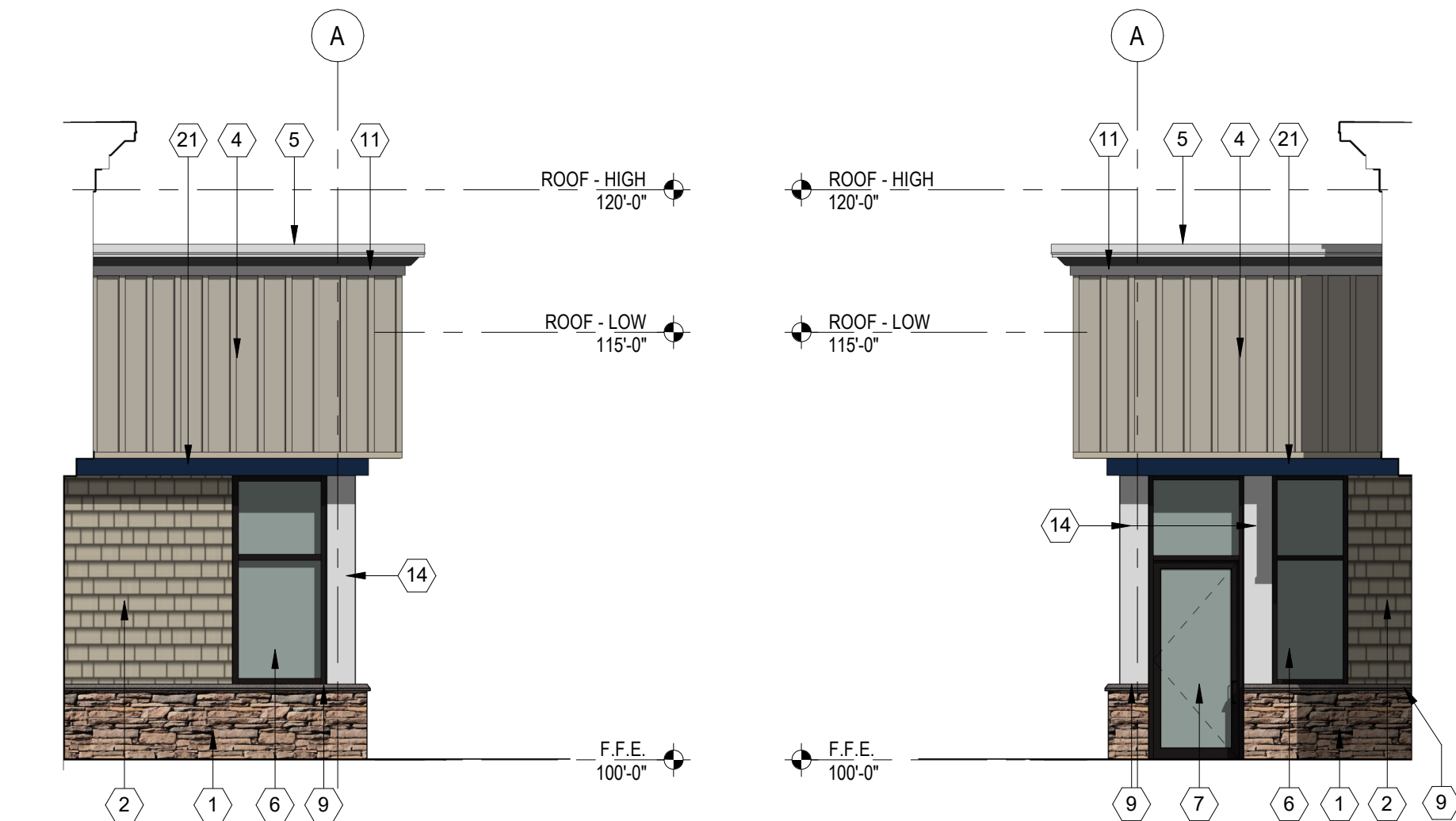
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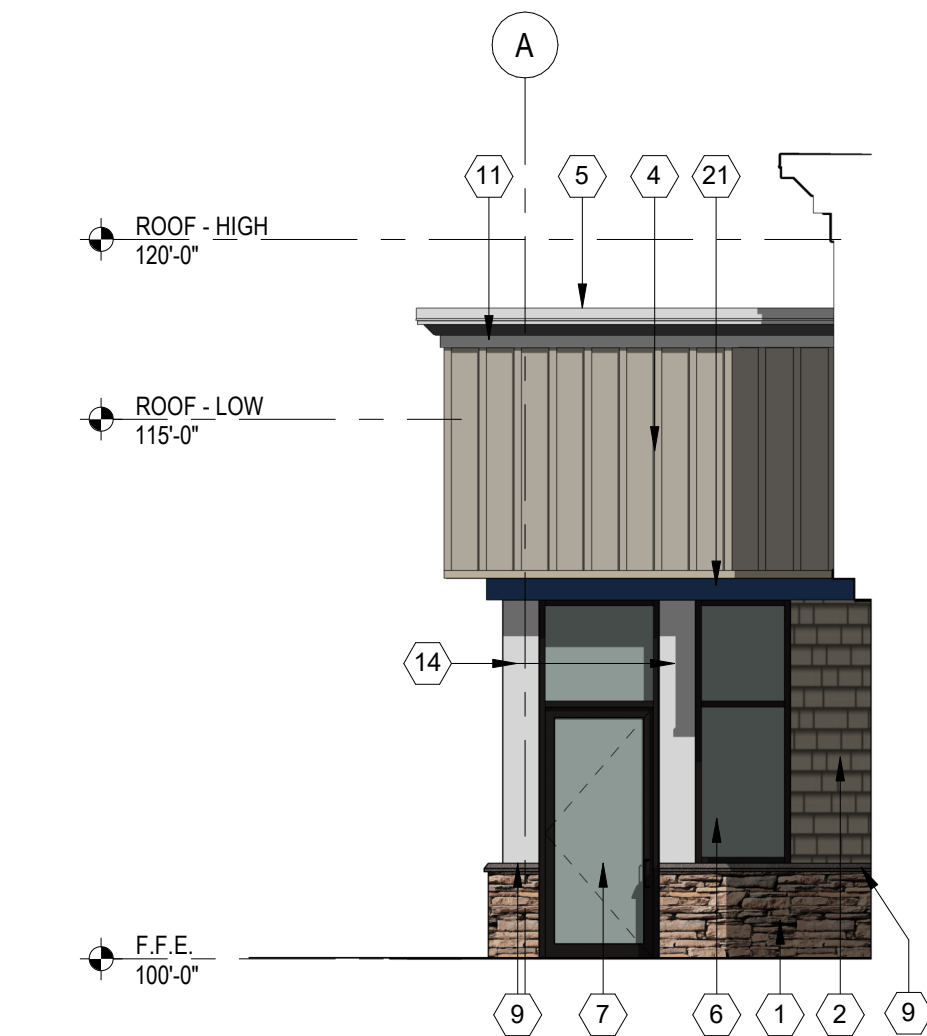
1 SOUTH ELEVATION
3/16" = 1'-0"



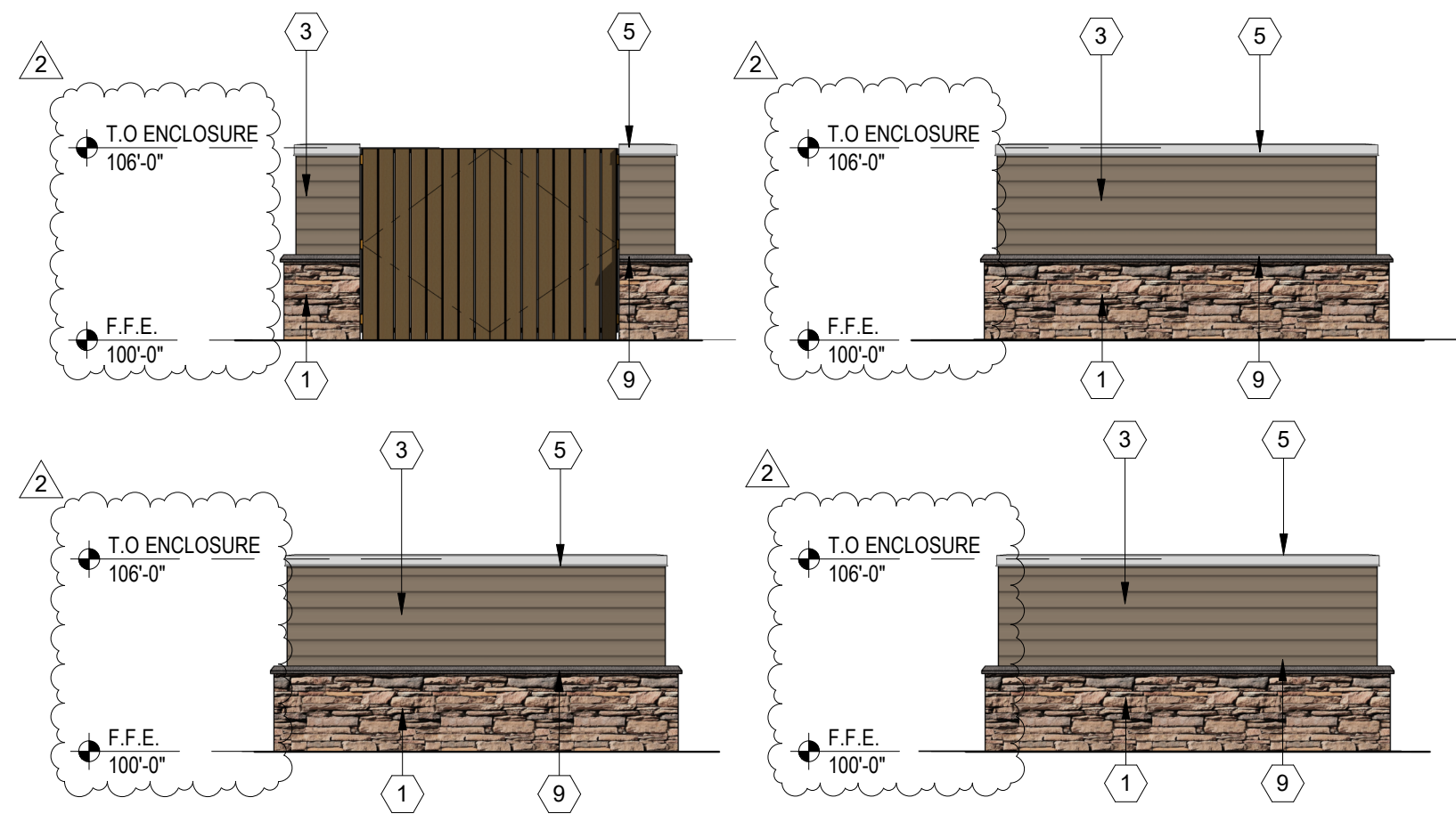
2 WEST ELEVATION
3/16" = 1'-0"



3 EAST ENTRY ELEVATION
3/16" = 1'-0"



4 WEST ENTRY ELEVATION
3/16" = 1'-0"



5 TRASH ENCLOSURE
3/16" = 1'-0"

ELEVATION KEY NOTES (#)

- STONE VENEER - SOUTHERN LEDGESTONE 'CHARDONNAY' BY CULTURED STONE
- COMPOSITE WOOD SHAKE SIDING - HARDIESHINGLE - STRAIGHT EDGE PANEL 'NAVAJO BEIGE' BY JAMES HARDIE
- COMPOSITE WOOD HORIZONTAL SIDING - HARDIEPLANK - SMOOTH - 'KHAKI BROWN' BY JAMES HARDIE
- COMPOSITE WOOD BOARD AND BATTEN SIDING - HARDIEPANEL VERTICAL SIDING - SMOOTH - 'COBBLESTONE' WITH HARDIETRIM BOARD - SMOOTH BATTEN BOARD - 'COBBLESTONE' BY JAMES HARDIE
- PREFINISHED METAL COPING - 'WHITE'
- ALUMINUM STOREFRONT FRAMING / GLAZING ASSEMBLY - TINTED INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
- ALUMINUM DOOR / TRANSOM / GLAZING ASSEMBLY - TINTED INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
- HOLLOW METAL DOOR AND FRAME - PAINT TO MATCH 'DARK BRONZE'
- ARCHITECTURAL PRECAST CONCRETE SILL
- 14'-3" x 3'-7" EXTERIOR LED 'NEW HORIZON ACADEMY' AND 'SUN' SIGNAGE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
- EI'S CORNICE - PAINT 'WHITE'
- PREFINISHED METAL SCUPPER AND 4"x6" DOWNSPOUT - 'DARK BRONZE'. CONNECT DOWNSPOUT TO UNDERGROUND STORM SEWER. SEE CIVIL DRAWINGS FOR FURTHER INFORMATION.
- LED LIGHT FIXTURE. SEE ELCTRICAL DRAWINGS FOR FURTHER INFORMATION
- 1x COMPOSITE WOOD TRIM - PAINT 'WHITE'
- 'BLACK' FABRIC AWNING. SEE DETAIL FOR FURTHER INFORMATION
- DASHED LINE DENOTES TOP OF ROOF BEYOND
- COMPOSITE WOOD DENTIL - PAINT 'WHITE'
- ARCHITECTURAL PRECAST CONCRETE COLUMN CAP
- 8x8 COMPOSITE WOOD COLUMN. SEE STRUCTURAL FOR FURTHER INFORMATION
- 4x12 COMPOSITE WOOD BEAM
- 1x COMPOSITE WOOD TRIM - PAINT 'NEW HORIZON BLUE'
- WALL MOUNTED CT CABINET - PAINT TO MATCH ADJACENT FINISH
- ELECTRICAL METER - PAINT TO MATCH ADJACENT FINISH



Building a Better World
for All of Us®

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NEW HORIZON ACADEMY
LOT 5, BLK 1, COPPERLEAF FILING NO. 25
ARAPAHOE, CO

SEH Project NHOAC 155937
Checked By SB
Drawn By DRS

Project Status Issue Date
- -
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- -

Rev. #	Description	Date
1	USR Comments	01.08.2020
2	USR Comments	02.18.2021

EXTERIOR ELEVATIONS

NEW HORIZON ACADEMY AT COPPERLEAF USE BY SPECIAL REVIEW

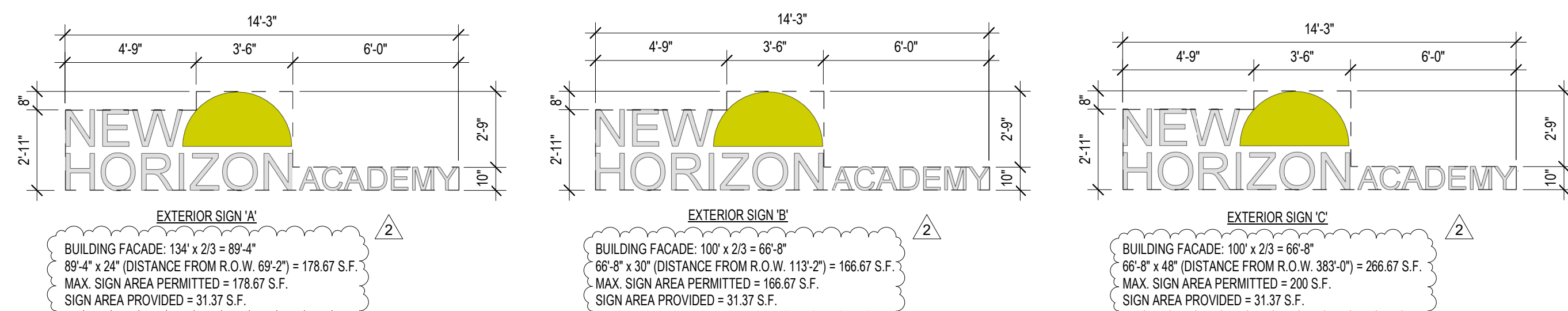
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1 NORTH ELEVATION
3/16" = 1'-0"



2 EAST ELEVATION
3/16" = 1'-0"



3 EXTERIOR SIGN SCHEDULE
1/4" = 1'-0"

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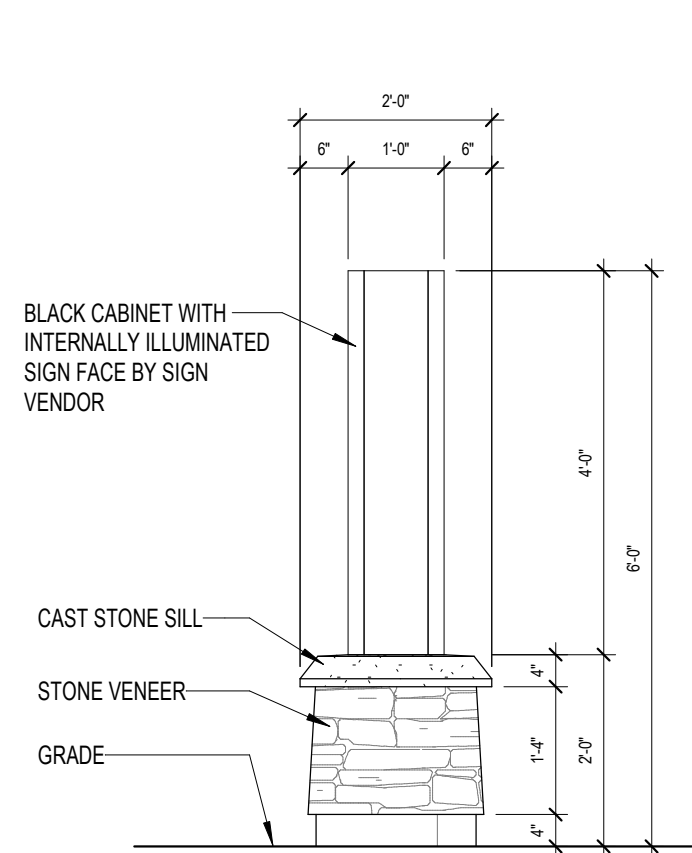
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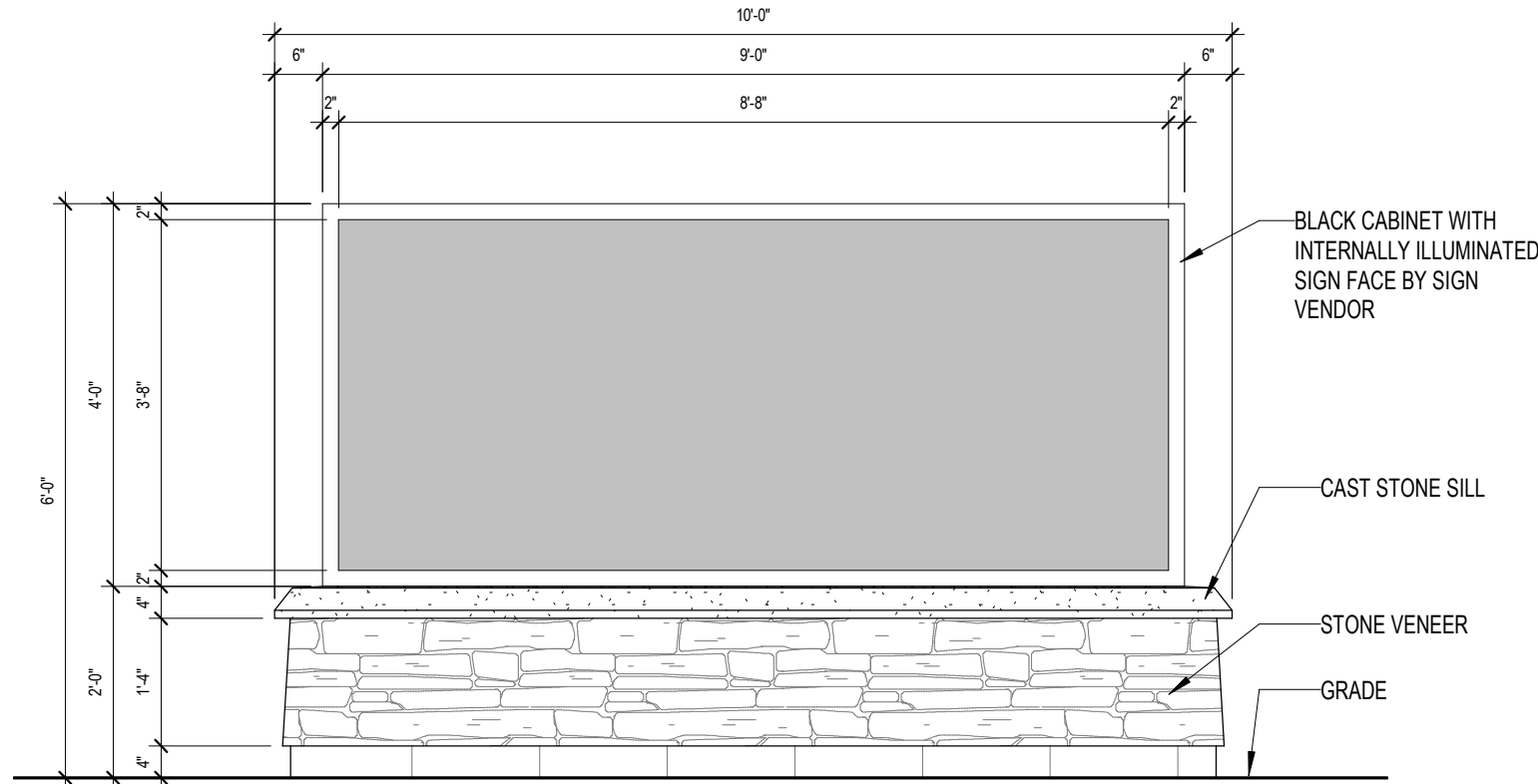
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3 MONUMENT SIGN - SIDE ELEVATION
1/2" = 1'-0"



2 MONUMENT SIGN - FRONT ELEVATION
1/2" = 1'-0"



1 MONUMENT SIGN - PERSPECTIVE VIEW



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Project Status	Issue Date
-	-
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-	-

Rev. #	Description	Date
1	USR Comments	01.08.2020

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